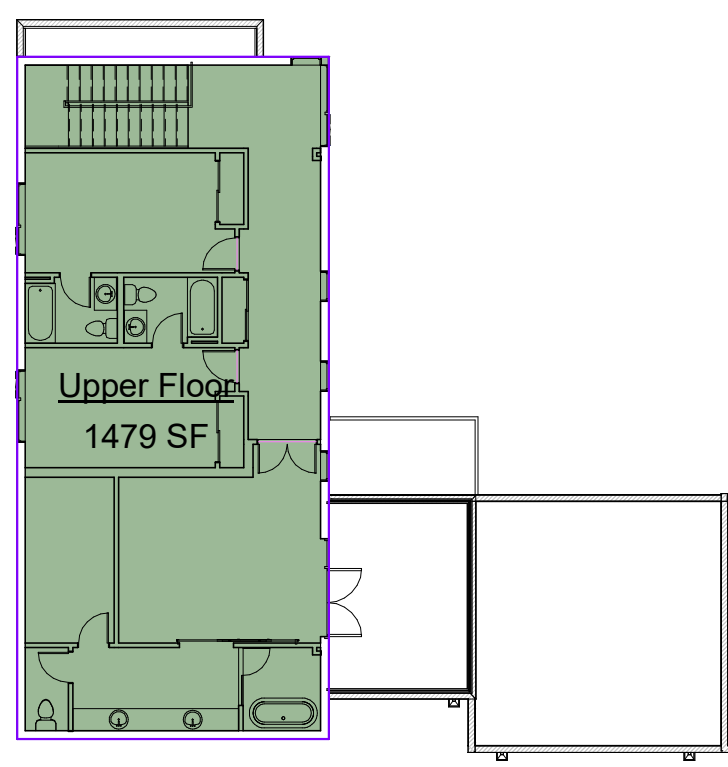
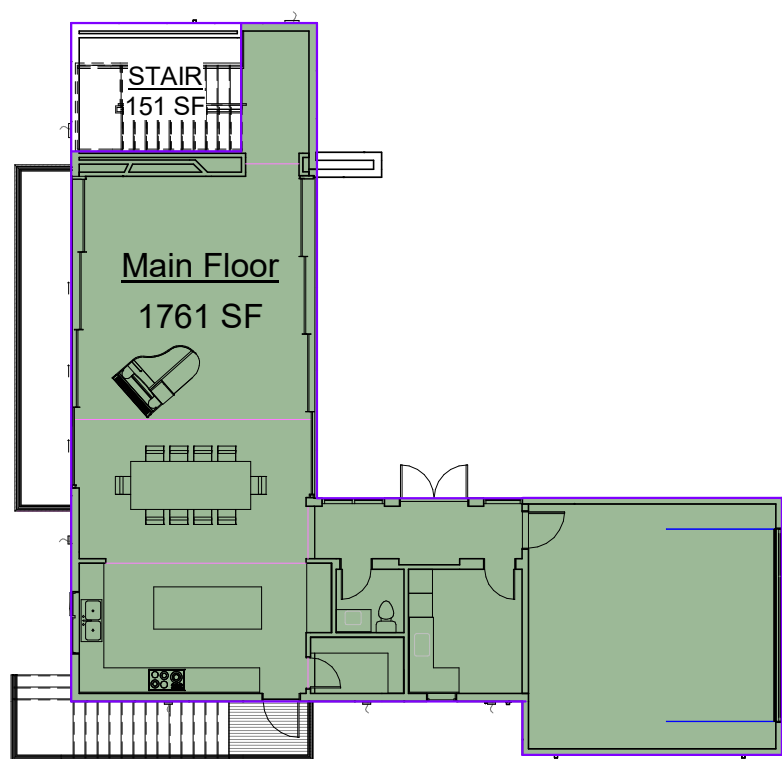


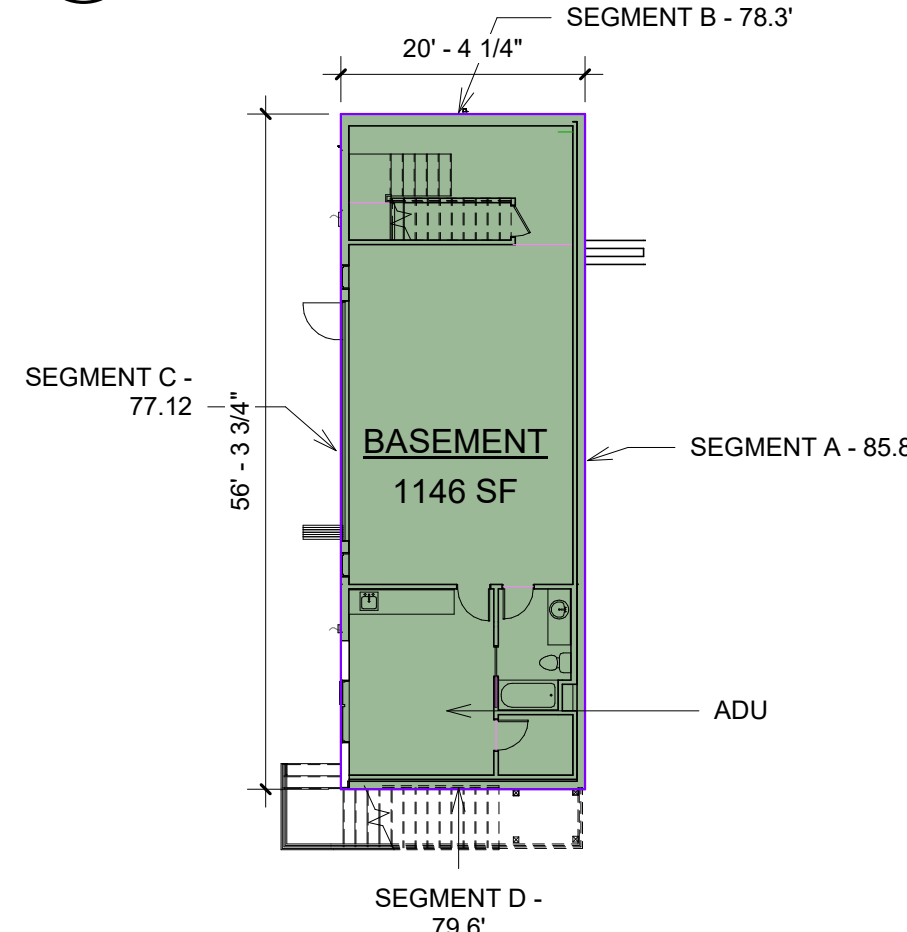
GROSS FLOOR AREA



3 UPPER LEVEL
Scale: 1/16" = 1'-0"



2 ENTRY LEVEL
Scale: 1/16" = 1'-0"



SEGMENT	LENGTH	WALL HT	MID-PT GRADE HT	%	WTD
A	35.25	9'	9'	100%	35.25
B	20.083	9'	78.3-77.2=1.1'	12.2%	2.45
C	35.25	9'	77.2-77.2=0'	0%	0
D	20.083	9'	79.6-77.2=2.4'	26.7%	5.36
TOTAL	110.667				43.06

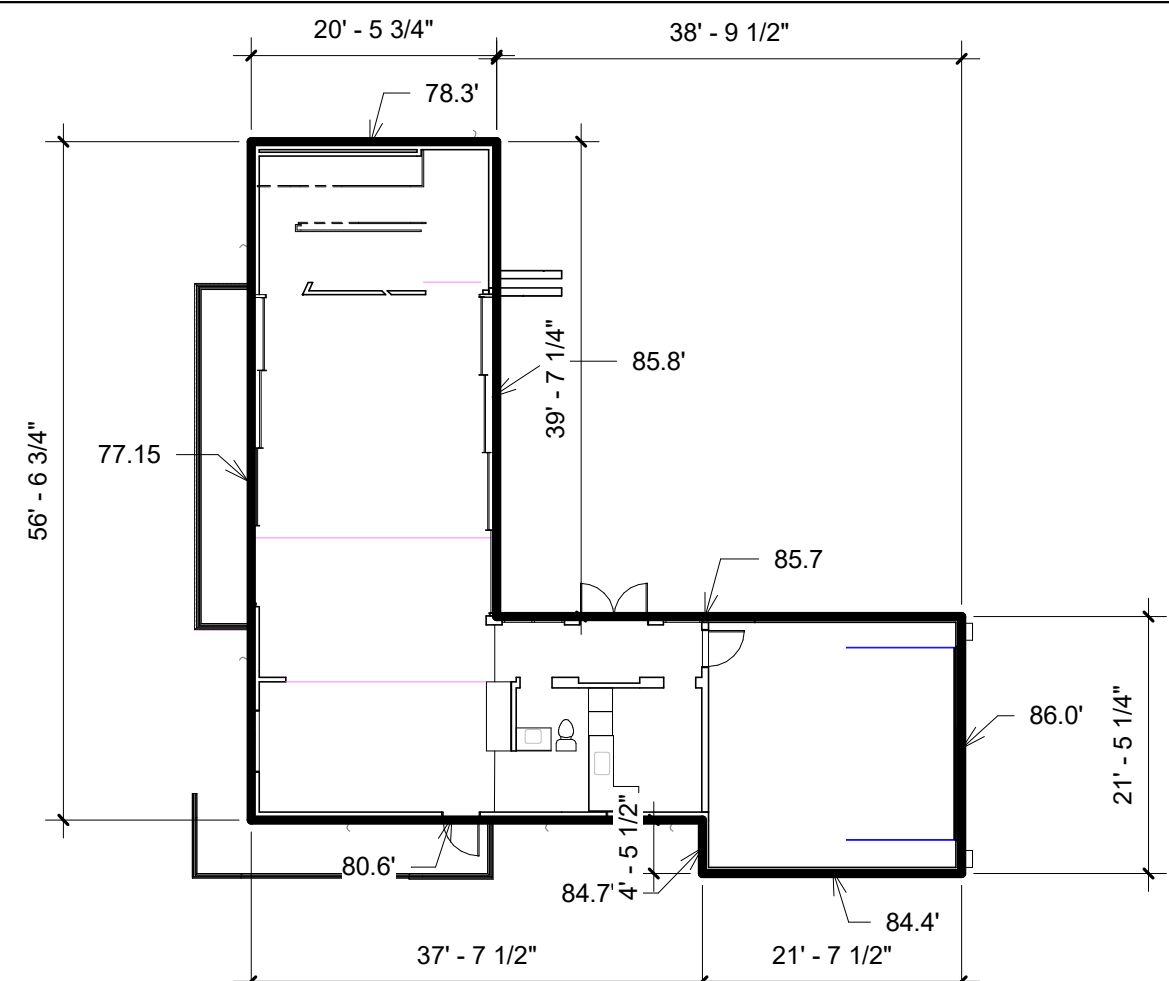
WTD / ACTUAL LENGTH .03891
CONDITIONED AREA 1146 SF
AREA COUNTING TOWARD GROSS 700 SF

1 BASEMENT LEVEL
Scale: 1/16" = 1'-0"

TOTAL GROSS FLOOR AREA			
LEVEL	GROSS AREA	EXCLUDED AREA	NET GROSS AREA
UPPER	1479SF	0	1479SF
ENTRY	1761SF	0	1761SF
BASEMENT	1146SF	446SF	700SF
TOTAL	4537SF	610SF	3940SF

MAX AREA IS 40%. MAX INCREASES TO 45% WITH PROPOSED ADU.
MAX GROSS AREA = SITE AREA x 0.45 = 8810 SF x 0.45 = 3964.5SF
3964.5 SF MAX > 3940 SF PROPOSED, THEREFORE OK

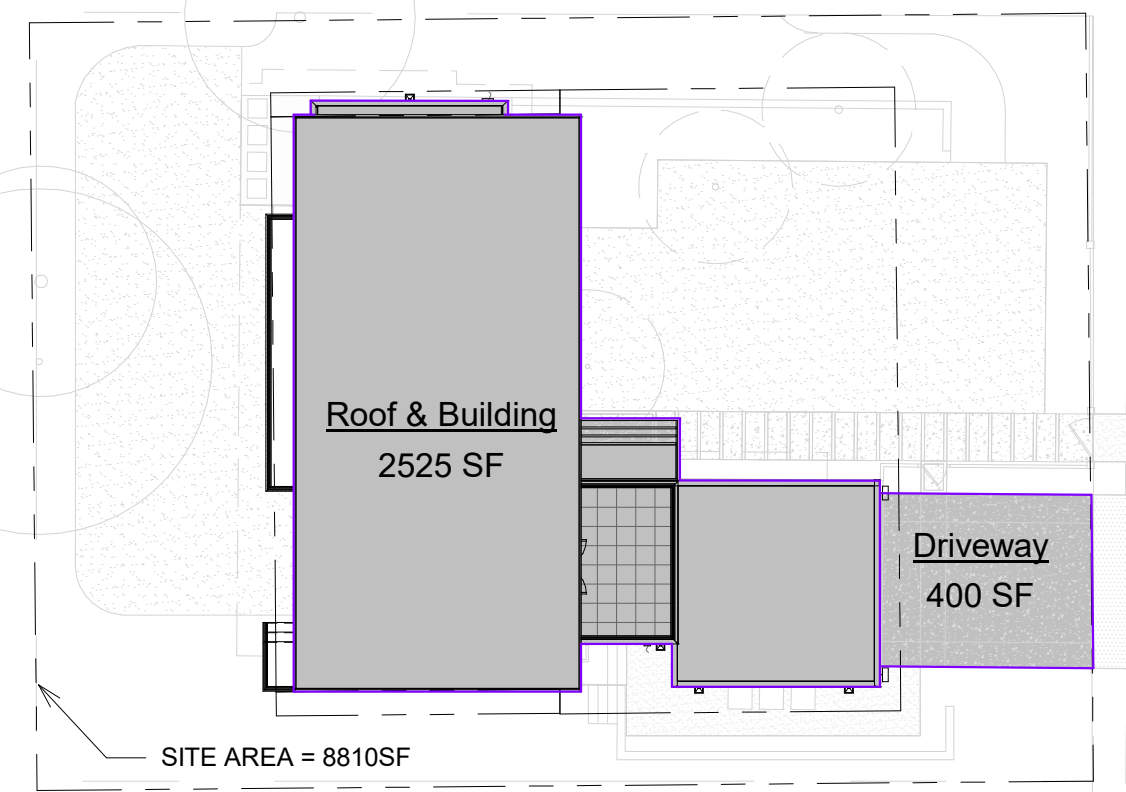
BUILDING HEIGHT



SEGMENT	ELEVATION	LENGTH	L x ELEV.
A	77.15	56.75	4378.26
B	78.3	20.47	1602.80
C	85.8	39.62	3399.39
D	85.7	38.85	3329.44
E	86.0	21.42	1842.12
F	84.4	21.65	1827.26
G	84.7	4.55	385.38
H	80.6	37.65	3034.59
TOTAL		240.96	19799.24

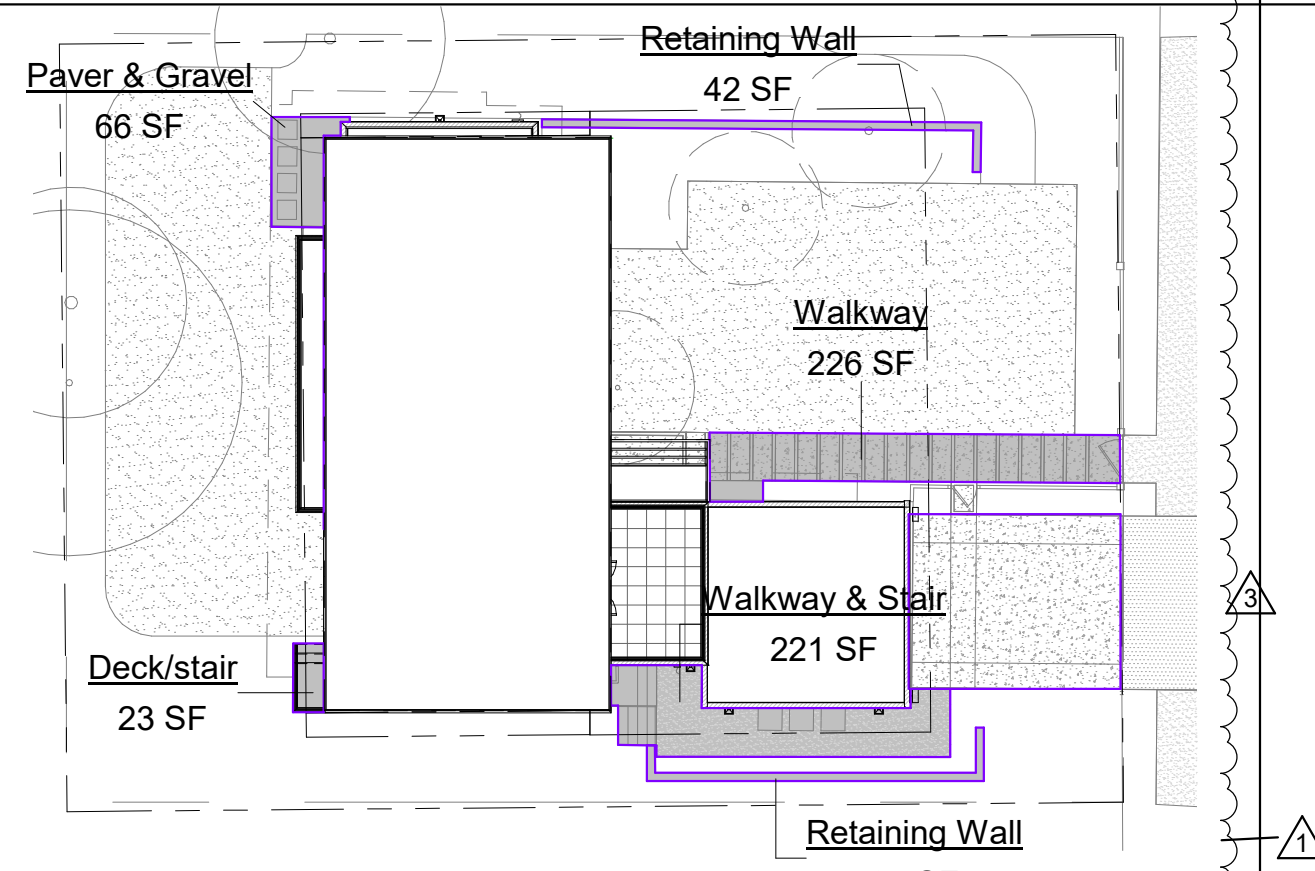
AVERAGE EXISTING GRADE 82.16
MAX HEIGHT PER CODE 30.0
MAXIMUM BUILDING HEIGHT 112.18

LOT COVERAGE



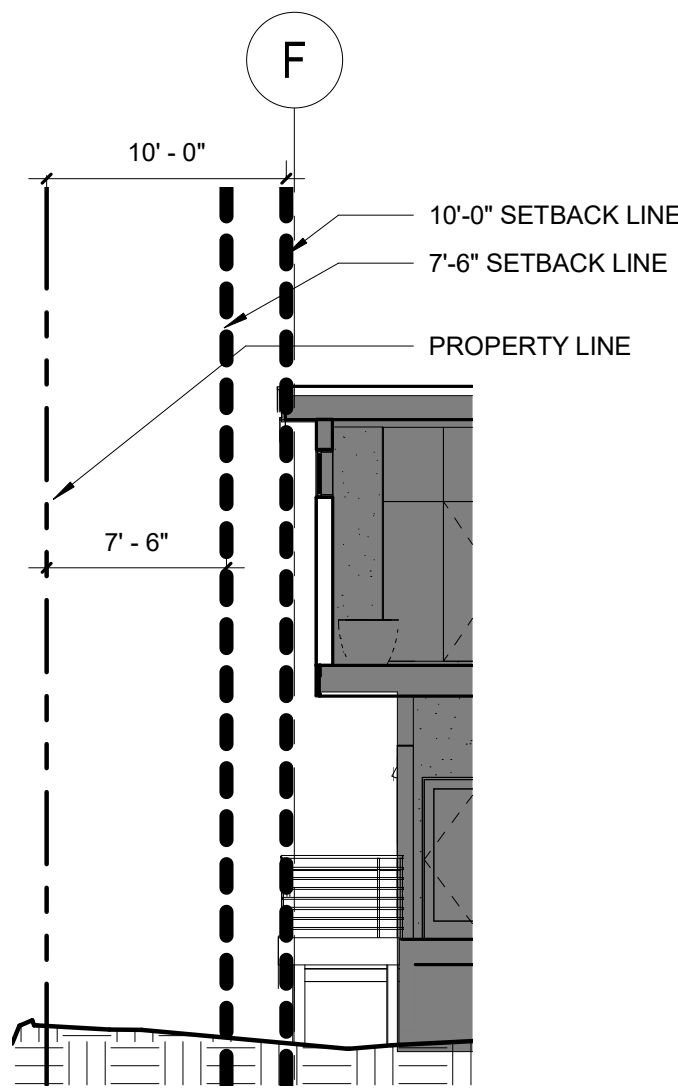
MAX LOT COVERAGE = SITE AREA x 40% = 8810sf x .40 = 3524 SF
LOT COVERAGE INCLUDES DRIVEWAYS, ROOFS AND OVERHANGS = 2925 SF
2925 SF < 3524 SF, THEREFORE OK

HARDSCAPE



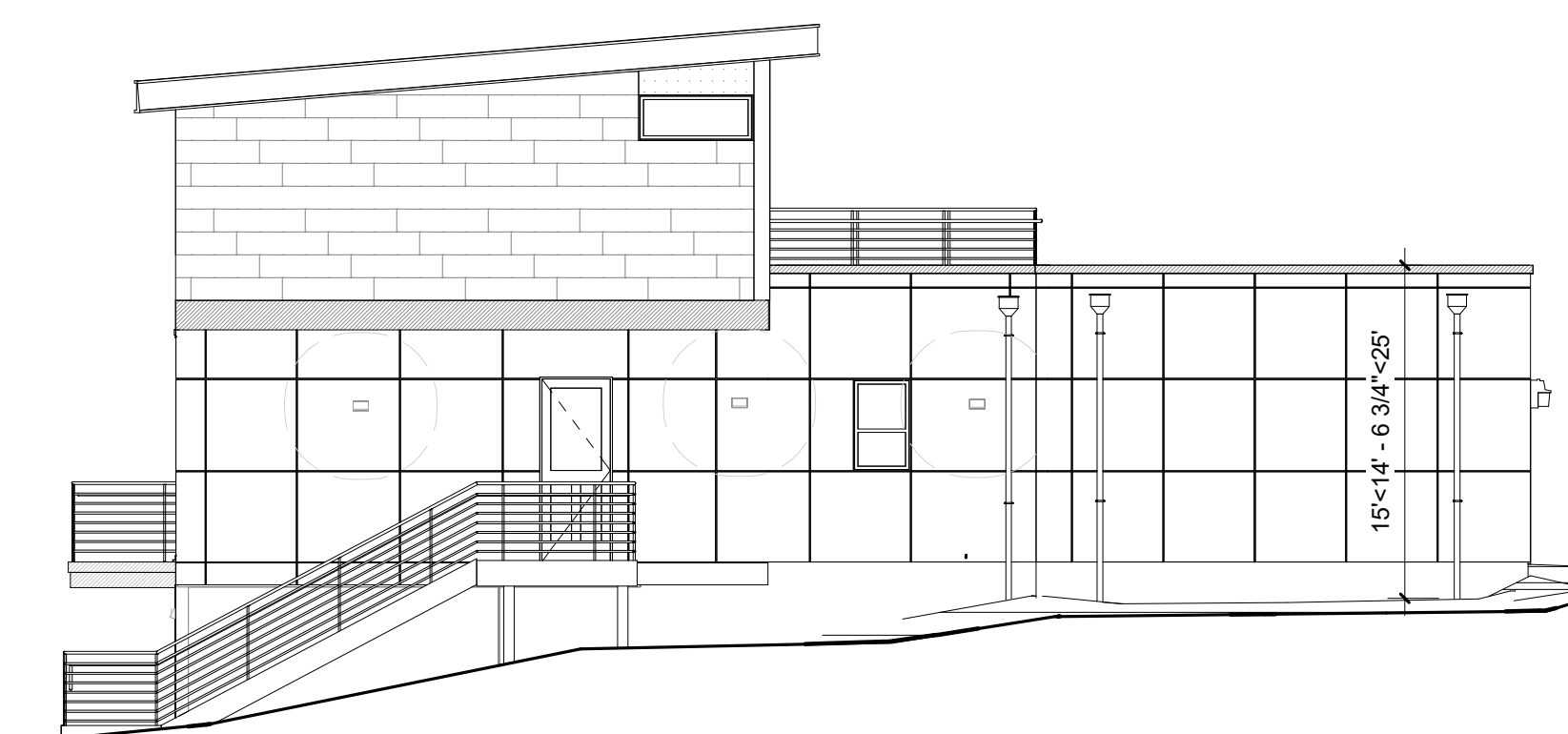
MAX HARDSCAPE = SITE AREA x 9% = 8810sf x .09 = 792.9 SF
HARDSCAPE INCLUDES PATHWAYS, DECKS, ETC OUTSIDE OF ROOF OVERHANGS = 615 SF
615 SF < 792.9 SF, THEREFORE OK

SOUTHERN SIDE YARD SETBACK LINE

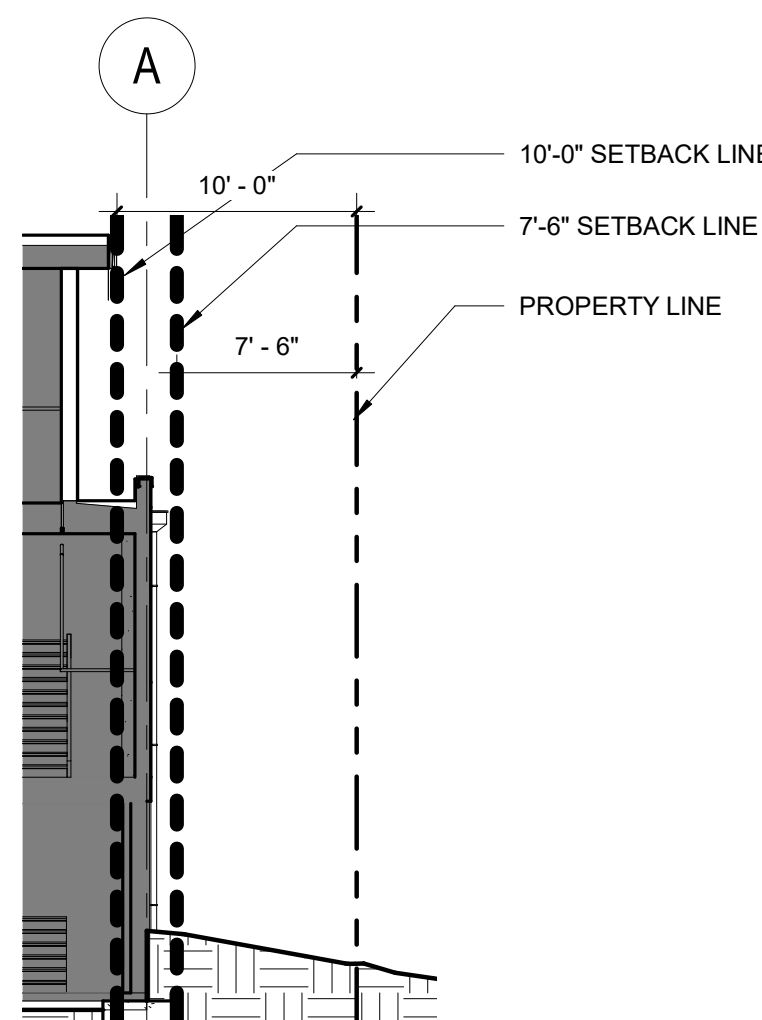


7'-6" SIDE YARD SET BACK LINE APPLY TO GARAGE ROOF SIDE
10'-0" SIDE YARD SET BACK LINE APPLY TO SLOPED ROOF SIDE

SOUTHERN ELEVATION

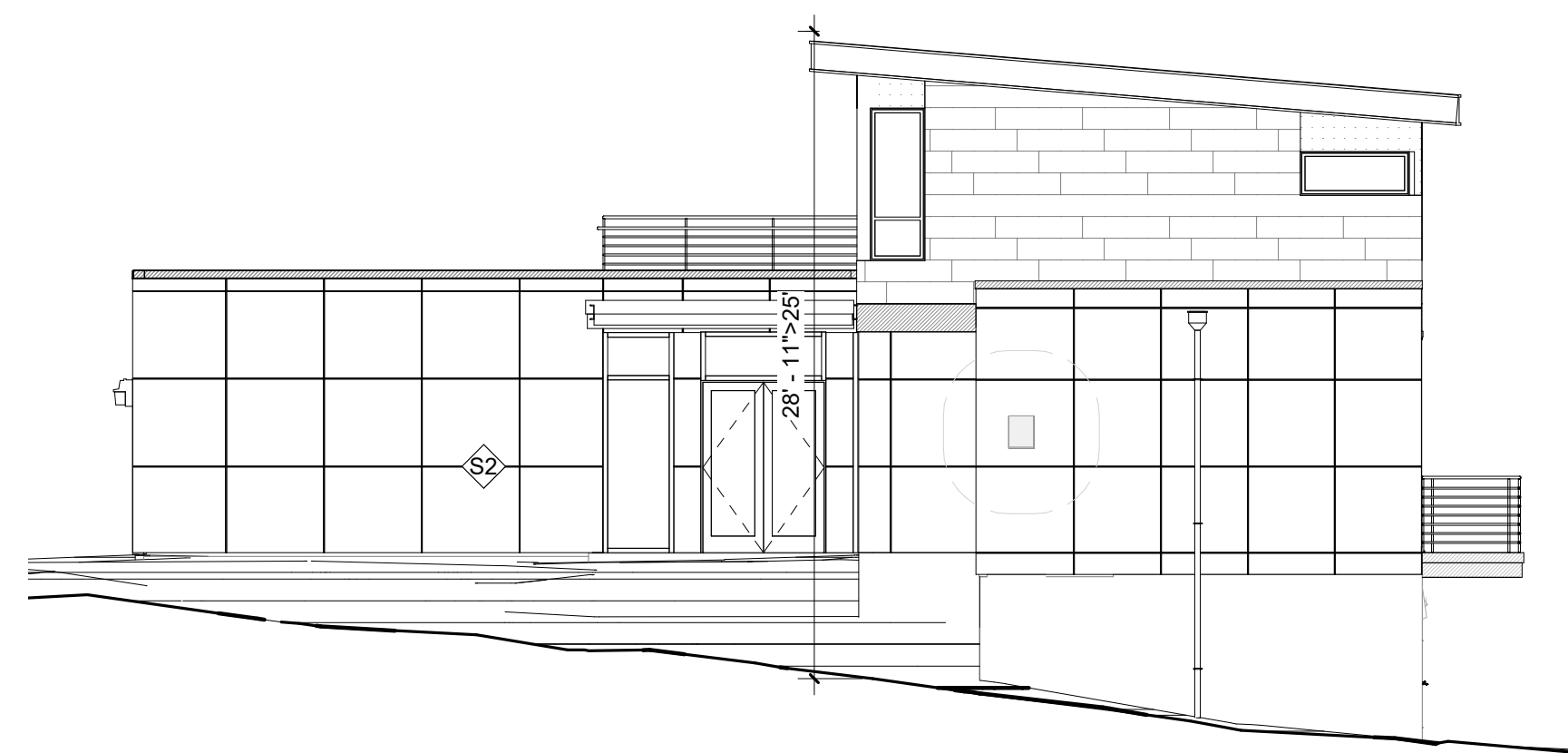


NORTHERN SIDE YARD SETBACK LINE



7'-6" SIDE YARD SET BACK LINE APPLY FLAT ROOF SIDE
10'-0" SIDE YARD SET BACK LINE APPLY TO SLOPED ROOF SIDE

NORTHERN ELEVATION



PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

CLIENT
Timothy & Elen Paek

No.	Description	Date
3	Comment 3	Date 3
2	Comment 2	11/26/19
1	Comment 1	08/16/19

REVISIONS
DRAWING STATUS

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



600 108th Ave NE
Suite 1028
Bellevue WA 98004
425.559.7888
contact@mza.us

STAMP
REGISTERED ARCHITECT
Ming Zhang
STATE OF WASHINGTON

DRAWING TITLE
LAND USE CALCULATIONS

DRAWN Author
DESIGNED Designer

DATE 08/16/19

GRAPHIC SCALE
As indicated

PROJECT NO.
18-009

DRAWING NO.
A1.0

REVISION NO.
3

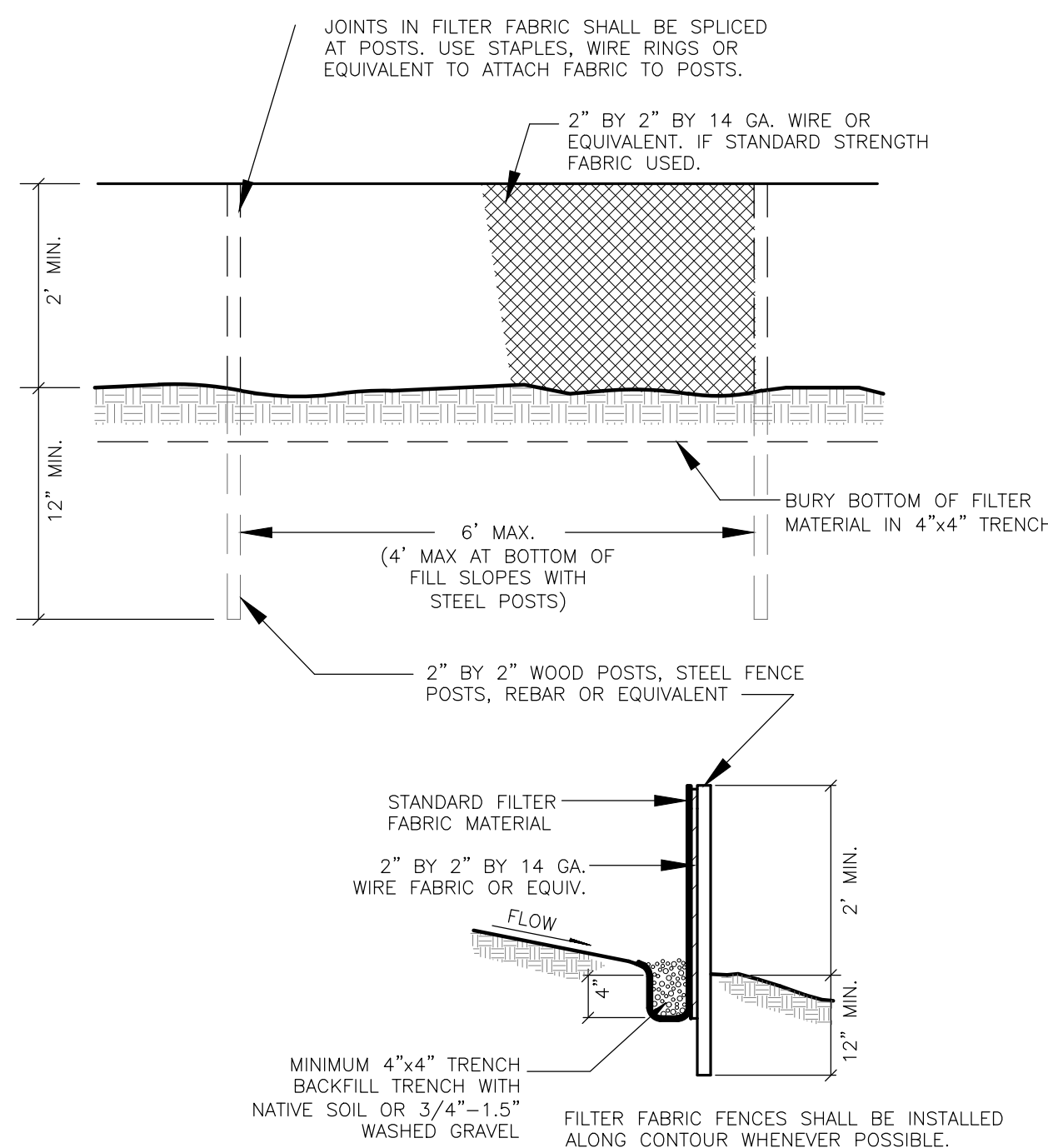
A PORTION OF THE SE QUARTER OF SECTION 01, TOWNSHIP 24 N., RANGE 04 E., W.M.

EROSION CONTROL NOTES

- PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT OR OTHER HAZARDOUS MATERIALS DO NOT ENTER THE STORM DRAINAGE SYSTEM IN ACCORDANCE WITH THE SITE'S APPROVED CSWPPP.
- EXPOSED SOILS SHALL BE WORKED DURING THE WEEK UNTIL THEY HAVE BEEN STABILIZED. SOIL STOCKPILES SHOULD BE SHOWN WITHIN THE DISTURBED AREA SHOWN ON THE SITE PLAN. SOIL EXCAVATED FOR THE FOUNDATION SHALL BE BACKFILLED AGAINST THE FOUNDATION AND GRADED TO DRAIN AWAY FROM THE BUILDING. NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS FROM MAY 1 TO SEPTEMBER 30 OR MORE THAN 2 DAYS FROM OCTOBER 1 TO APRIL 30. ONCE THE DISTURBED LANDSCAPE AREAS ARE GRADED, THE GRASS AREAS ARE TO BE AMENDED PER THE SOIL AMENDMENT NOTES ON SHEET C2. ALL STOCKPILES SHOULD BE COVERED WITH PLASTIC OR BURLAP IF LEFT UNWORKED.
- ANY AND ALL POLLUTANTS, CHEMICALS, LIQUID PRODUCTS, AND OTHER MATERIALS THAT HAVE THE POTENTIAL TO POSE A THREAT TO HUMAN HEALTH OR THE ENVIRONMENT SHALL BE COVERED, CONTAINED, AND PROTECTED FROM VANDALISM. ALL SUCH PRODUCTS SHALL BE KEPT UNDER COVER IN A SECURE LOCATION ON SITE. CONCRETE HANDLING (BMP C151), SAWCUTTING (BMP C152), MATERIAL DELIVERY, STORAGE, AND CONTAINMENT (BMP C153), AND CONCRETE WASHOUT AREAS (BMP C154) SHOULD FOLLOW BEST MANAGEMENT PRACTICES AS PROVIDED IN VOLUME II OF THE 2014 SURFACE WATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON.
- BEST MANAGEMENT PRACTICES OR BMPs SHALL BE INSPECTED AND MAINTAINED DURING CONSTRUCTION AND REMOVED WITHIN 30 DAYS AFTER THE CITY INSPECTOR OR ENGINEER DETERMINES THAT THE SITE IS STABILIZED, PROVIDED THAT THEY MAY BE REMOVED WHEN THEY ARE NO LONGER NEEDED.

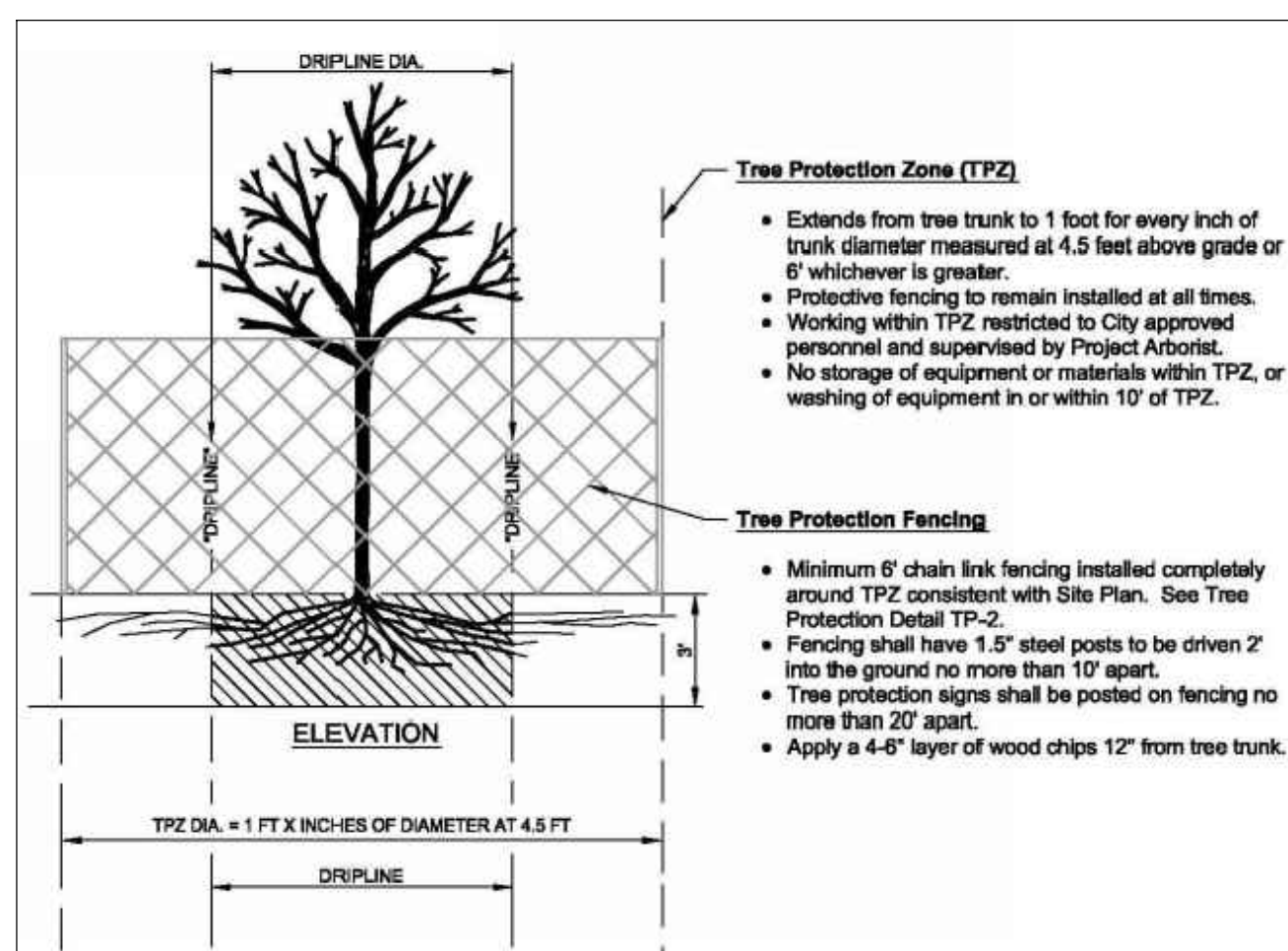
SUGGESTED SWPPP SEQUENACE

- MARK CLEARING LIMITS, CRITICAL AREAS, AND BUFFER. THE PERIMETER OF THE AREA TO BE CLEARED SHALL BE MARKED PRIOR TO CLEARING OPERATION WITH VISIBLE FLAGGING, ORANGE PLASTIC BARRIER FENCING AND/OR ORANGE SILT FENCING AS SHOWN ON THE SWPPP SITE MAP. VEHICLE ARE ONLY ALLOWED IN THE AREAS TO BE GRADED, SO NO COMPACTION OF THE UNDEVELOPED AREAS WILL OCCUR.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE WHERE NECESSARY
- INSTALL PROTECTION FOR EXISTING DRAINAGE SYSTEMS AND PERMANENT DRAIN INLETS
- ESTABLISH STAGING AREAS FOR STORAGE AND HANDLING POLLUTED MATERIAL AND BMPs
- INSTALL SEDIMENT CONTROL BMPs
- GRADE AND INSTALL STABILIZATION MEASURES FOR DISTURBED AREAS
- MAINTAIN BMPs UNTIL SITE STABILIZATION, AT WHICH TIME THEY MAY BE REMOVED



TYPICAL FILTER FENCE DETAIL

NOT TO SCALE



TREE PROTECTION DETAIL

NOT TO SCALE

PERMANENT & TEMPORARY SEEDING

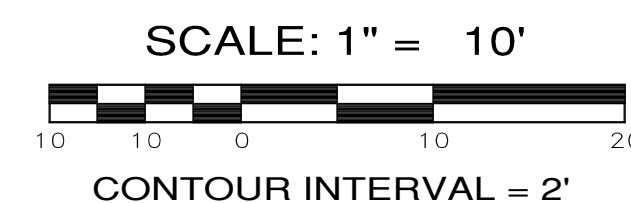
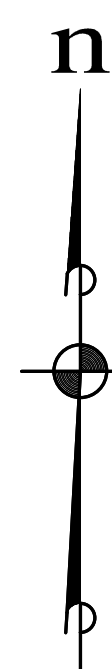
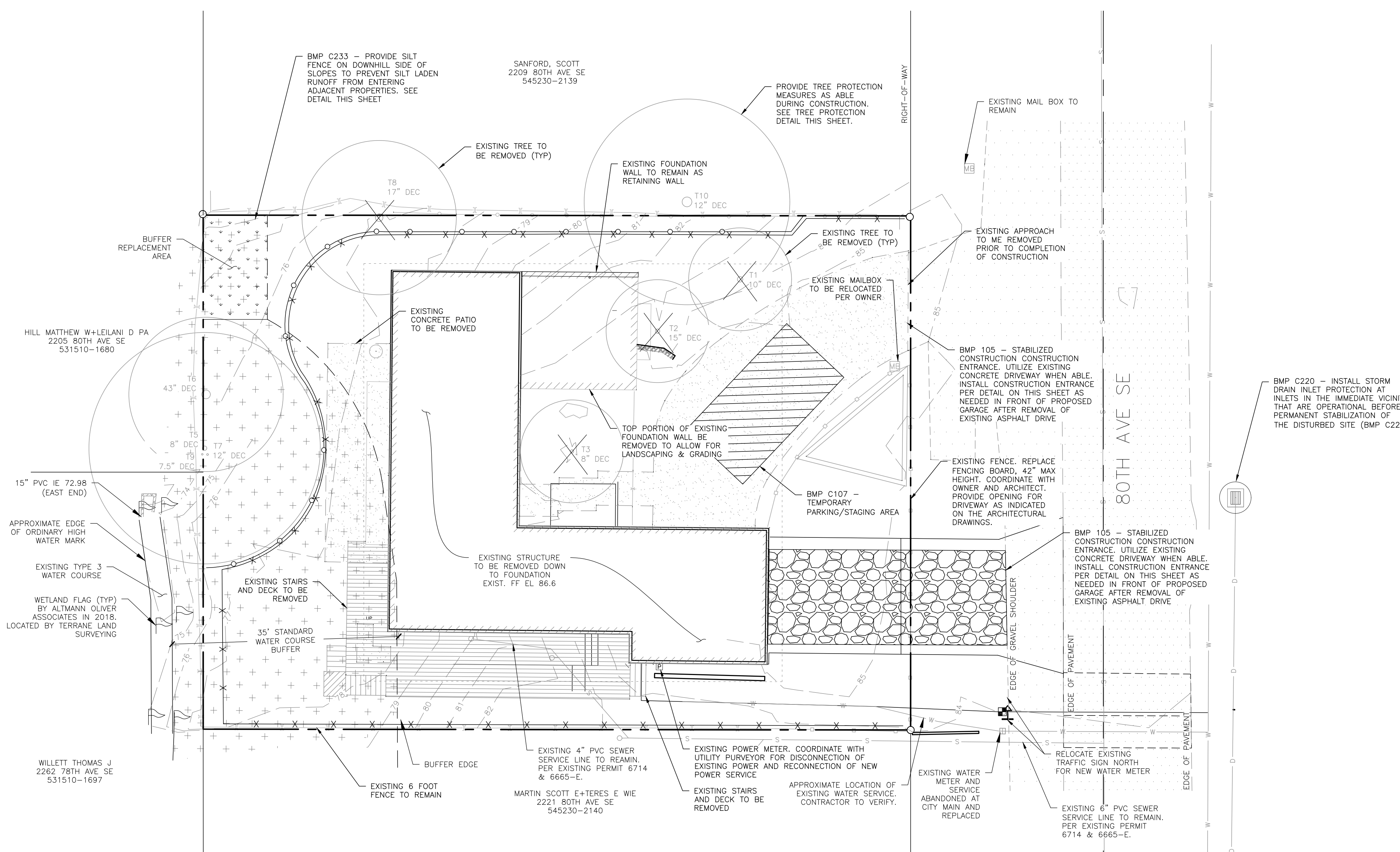
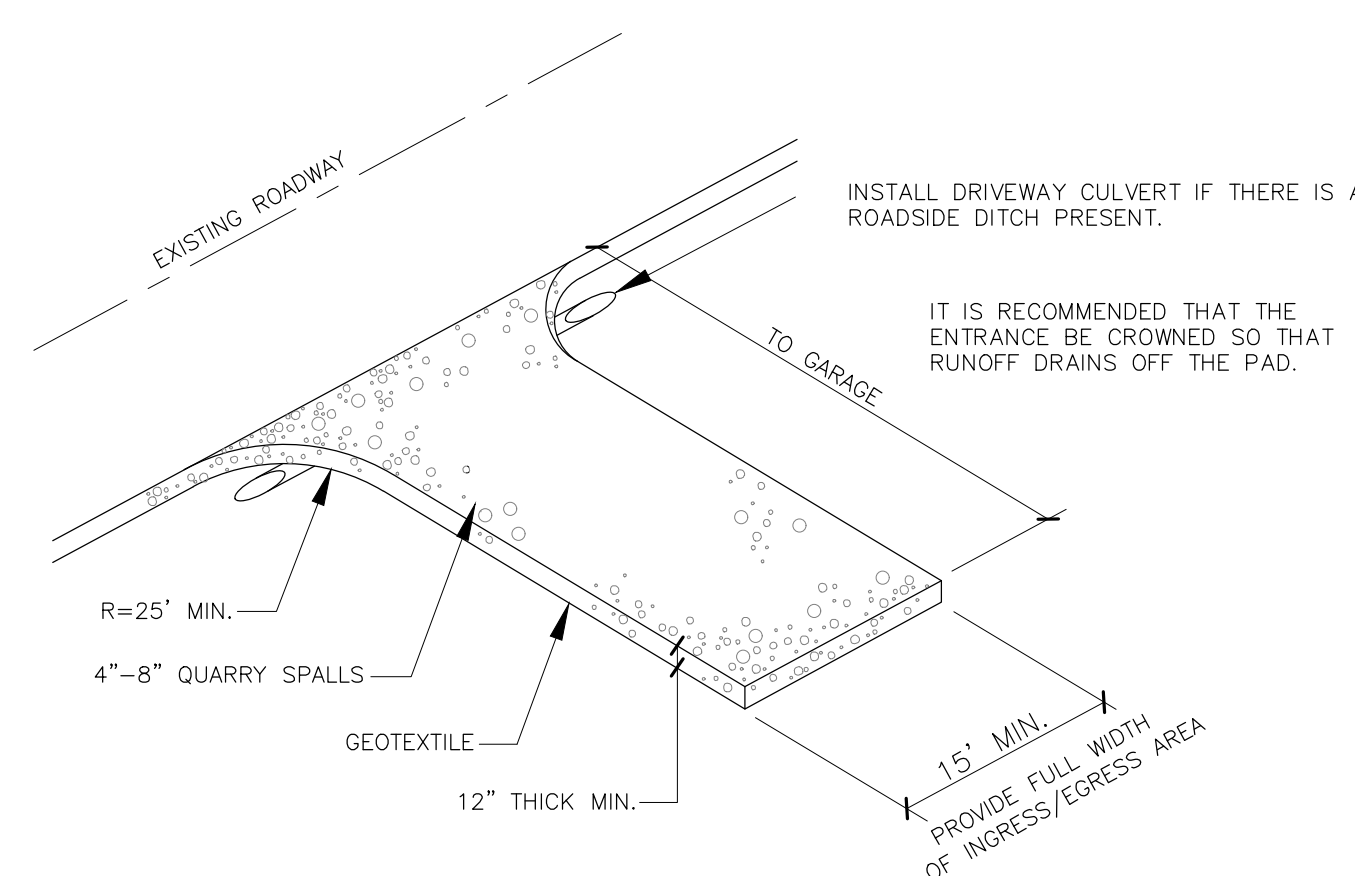
- SEEDING MAY BE USED THROUGHOUT THE PROJECT ON DISTURBED AREAS THAT HAVE REACHED FINAL GRADE OR THAT WILL REMAIN UNWORKED. SEED AND MULCH ALL DISTURBED AREAS NOT OTHERWISE VEGETATED OR STABILIZED.
- SEED DURING SEASONS MOST CONDUCTED TO PLANT GROWTH. FOR WASHINGTON THIS IS BETWEEN APRIL 1 THROUGH JUNE 20 AND SEPTEMBER 1 THROUGH OCTOBER 1. SEEDING THAT OCCURS BETWEEN JULY 1 AND AUGUST 30 WILL REQUIRE IRRIGATION UNTIL 5 PERCENT GRASS COVER IS ESTABLISHED. SEEDING THAT OCCURS BETWEEN OCTOBER 1 AND MARCH 30 MAY REQUIRED MULCH OR PLASTIC COVER UNTIL 75 PERCENT GRASS COVER IS ESTABLISHED.
- REFER TO BMP C120 IN THE STORMWATER MANUAL FOR WESTERN WASHINGTON; VOLUME II FOR FURTHER DETAILS.

MAPPING NOTES

- SITE BOUNDARY AND CONTOURS PROVIDED BY TERRANE SURVEYING, MAPS DATED 01/07/19.
- HOUSE, SITE LAYOUT, WATERCOURSE LOCATION WITH ASSOCIATED BUFFER PROVIDED BY MZA ARCHITECTURE ON 01/17/19.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION OF SPECIFIC UTILITY.
- CONTRACTOR SHALL KEEP DETAILED NOTES FOR USE DURING ASBULT DRAWING PREPARATION.
- TREE NUMBERS PER ARBORISTS NW, LLC REPORT

ROCK-LINED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



REVISIONS

NO.	DESCRIPTION/DATE	BY
1	CITY COMMENTS AUGUST 1, 2019	ESM
2	CITY COMMENTS SEPTEMBER 23, 2019	ESM
3	CITY COMMENTS JANUARY 14, 2020	ESM

BRANDON MICHAEL JOHNS
REGISTERED PROFESSIONAL ENGINEER
000005
01/14/2020

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Federal Way, WA 98003

Land Planning
Landscape Architecture
Civil Engineering
Public Works
Project Management

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(425) 297-9900

MZA ARCHITECTURE
PAEK RESIDENCE
DEMO & TESC PLAN
CITY OF MERCER ISLAND, WASHINGTON

JOB NO.:	1954-003-018
DWG. NAME:	
DESIGNED BY:	BML
DRAWN BY:	BML
CHECKED BY:	
DATE:	04/30/2019
DATE OF PRINT:	

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811

A PORTION OF A PORTION OF THE SE QUARTER OF SECTION 01, TOWNSHIP 24 N., RANGE 04 E., W.M.

SOIL QUALITY GUIDLINES

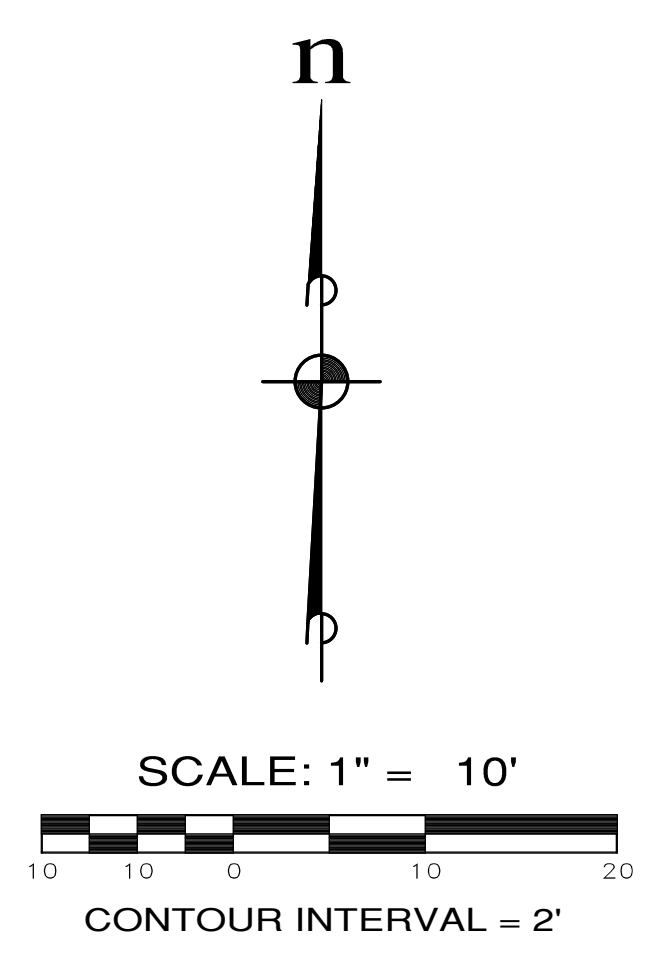
- SOIL RETENTION. RETAIN, IN A UNDISTURBED STATE THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCK-PILE THE DUFF LAYER AND TOPSOIL, IF ANY, ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.
- SOIL QUALITY. ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:
 - A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 5-10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
 - MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL
 - USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
 - THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN ONLY BE MET USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIORETENTION WITH THE EXCEPTION THAT THE COMPOST MUST HAVE AN ORGANIC MATTER CONTENT OF 40 PERCENT TO 65 PERCENT, AND A CARBON TO NITROGEN RATIO BETWEEN 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTING COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
 - CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIALS AS DEFINED ABOVE, OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TESTING PARAMETERS, IN WAC 173-350-220

SOIL AMENDMENT OPTIONS

- IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ON THIS SHEET CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:
- OPTION 1: LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
 - OPTION 2: AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
 - OPTION 3: STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
 - OPTION 4: IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.
- MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

POST CONSTRUCTION SOIL INSPECTION

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP 15.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.



SITE DATA

PARCEL NUMBER: 545230-2145
 SITE ADDRESS: 2215 80TH AVE SE, MERCER ISLAND, WA 98040
 SITE AREA: 8,800 SF (RECORDED), 8,810 SF (SURVEYED)
 ZONING: R-8.5
 REQUIRED SETBACKS:
 FRONT/GARAGE: 20 FT
 BACK: 25 FT
 INTERIOR: 10 FT EA (15 FT TOTAL)

ON-SITE IMPERVIOUS

NEW PLUS REPLACED	
TRIBUTARY TO DETENTION TANK	
SINGLE FAMILY ROOFTOP	2,495 SF (0.057 AC TO PUMP)
CONCRETE DRIVE	437 SF
TOTAL	2,932 SF (0.067 AC)
SHEET FLOW DISPERSION EXPOSED WALKWAYS	233 SF

PROJECT IMPACTS

EXISTING (ALL TO BE REMOVED)	
SINGLE FAMILY ROOFTOP	3,629 SF
SIDEWALK	0 SF
BACK PATIO	112 SF
DECK	317 SF
SITE DRIVEWAY	850 SF
TOTAL	4,908 SF
REPLACED	
SINGLE FAMILY ROOFTOP	2,495 SF
SIDEWALK	233 SF
DECK	49 SF
TOTAL REPLACED	2,777 SF
NEW	
DRIVEWAY	437 SF
TOTAL NEW	437 SF
NEW + REPLACED	3,214 SF

EARTHWORK QUANTITIES

CUT	0 CY
FILL	80 CY
NET	80 CY (FILL)

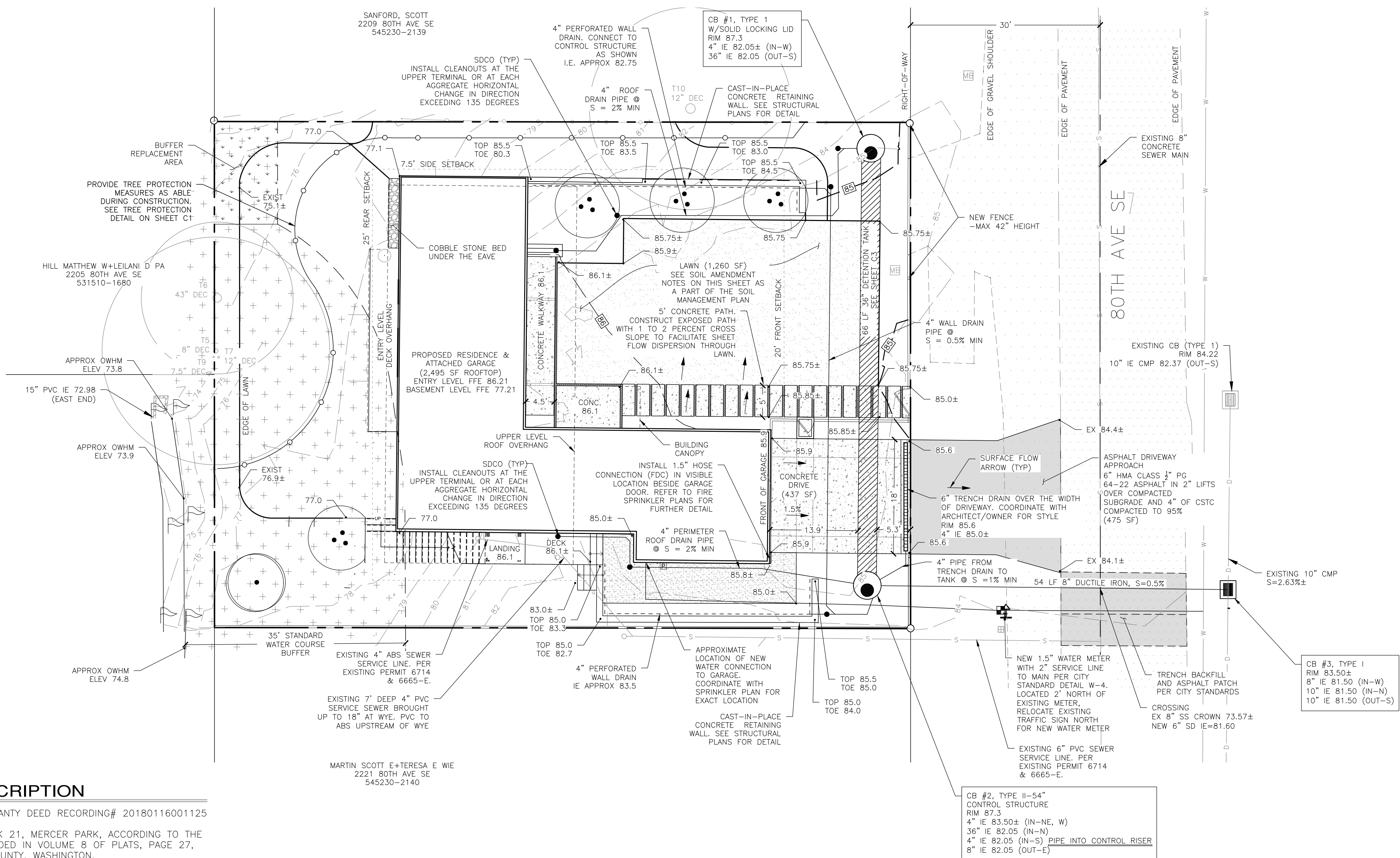
EARTHWORK VOLUMES SHOWN ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY VOLUMES AS NEEDED.

FOOTING DRAIN NOTE

THE EXISTING FOOTING DRAIN WILL NOT BE ALTERED AND REMAIN IN PLACE. NO NEW CONNECTION FROM ANY SOURCES TO THE EXISTING FOOTING DRAIN ARE ALLOWED. IF THERE ARE ALTERATIONS OR CONNECTIONS TO THE EXISTING FOOTING DRAIN ARE NEEDED DURING THE CONSTRUCTION, THEN A NEW DESIGN FOR THE FOOTING DRAIN MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.

LEGAL DESCRIPTION

PER STATUTORY WARRANTY DEED RECORDING# 20180116001125
 LOTS 3 AND 4, BLOCK 21, MERCER PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9 OF PLATS, PAGE 27, RECORDS OF KING COUNTY, WASHINGTON.
 SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.
 SEE THE TOPOGRAPHY MAP PREPARED BY TERRANE LAND SURVEYING FOR THIS PROJECT FOR FURTHER PROJECT DESCRIPTION, CONTROL, AND EXISTING TOPOGRAPHY INFORMATION.



REVISIONS		
NO.	DESCRIPTION/DATE	BY
1	CITY COMMENTS AUGUST 1, 2019	ESM
2	CITY COMMENTS SEPTEMBER 23, 2019	ESM
3	CITY COMMENTS JANUARY 14, 2020	ESM

ESM CONSULTING ENGINEERS LLC
 33400 8th Ave S, Suite 205
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 www.esmcivil.com

MZA ARCHITECTURE
PAEK RESIDENCE
 DRAINAGE & GRADING PLAN

CITY OF MERCER ISLAND, WASHINGTON

JOB NO.: 1954-003-018
 DWG. NAME:
 DESIGNED BY: BML
 DRAWN BY: BML
 CHECKED BY:
 DATE: 04/30/2019
 DATE OF PRINT:
C2

OF SHEETS

File: \\mzm\pmp\ESM-0085\1954\03\018\018.dwg
 Plotted By: Brandon Jones
 Date: 1/14/2020 1:21 PM

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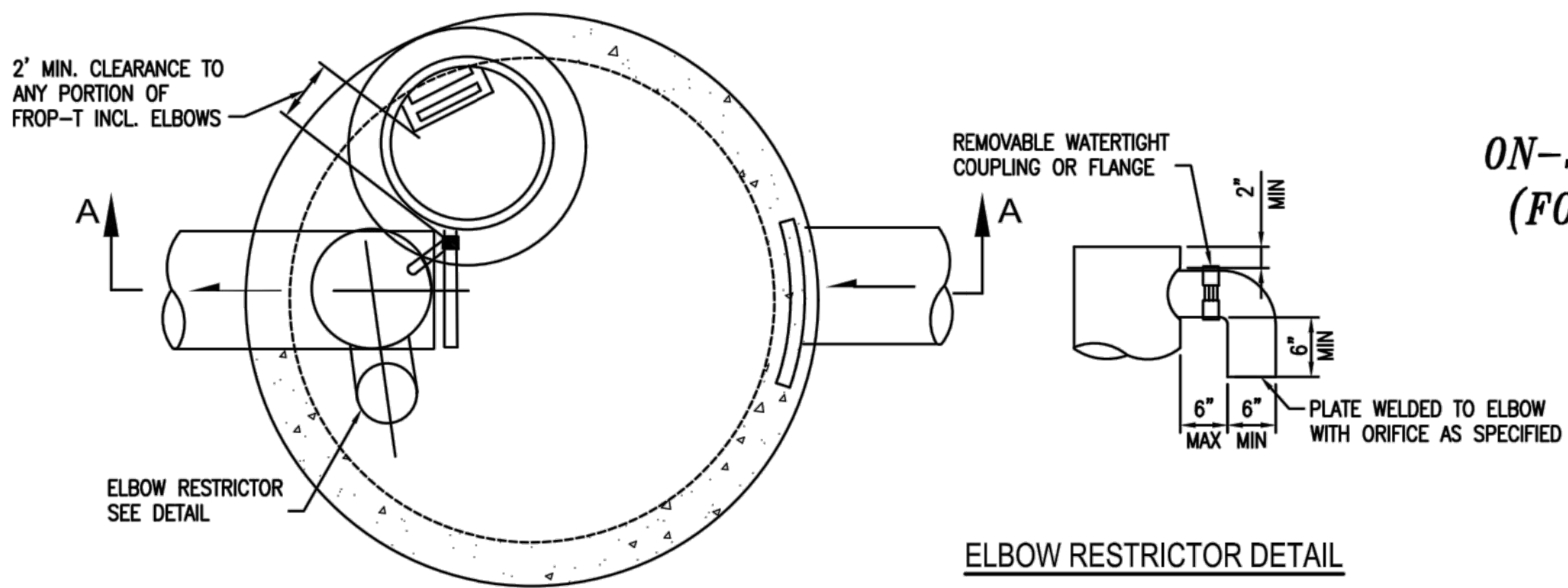
A PORTION OF A PORTION OF THE SE QUARTER OF SECTION 01, TOWNSHIP 24 N., RANGE 04 E., W.M.

REVISIONS		
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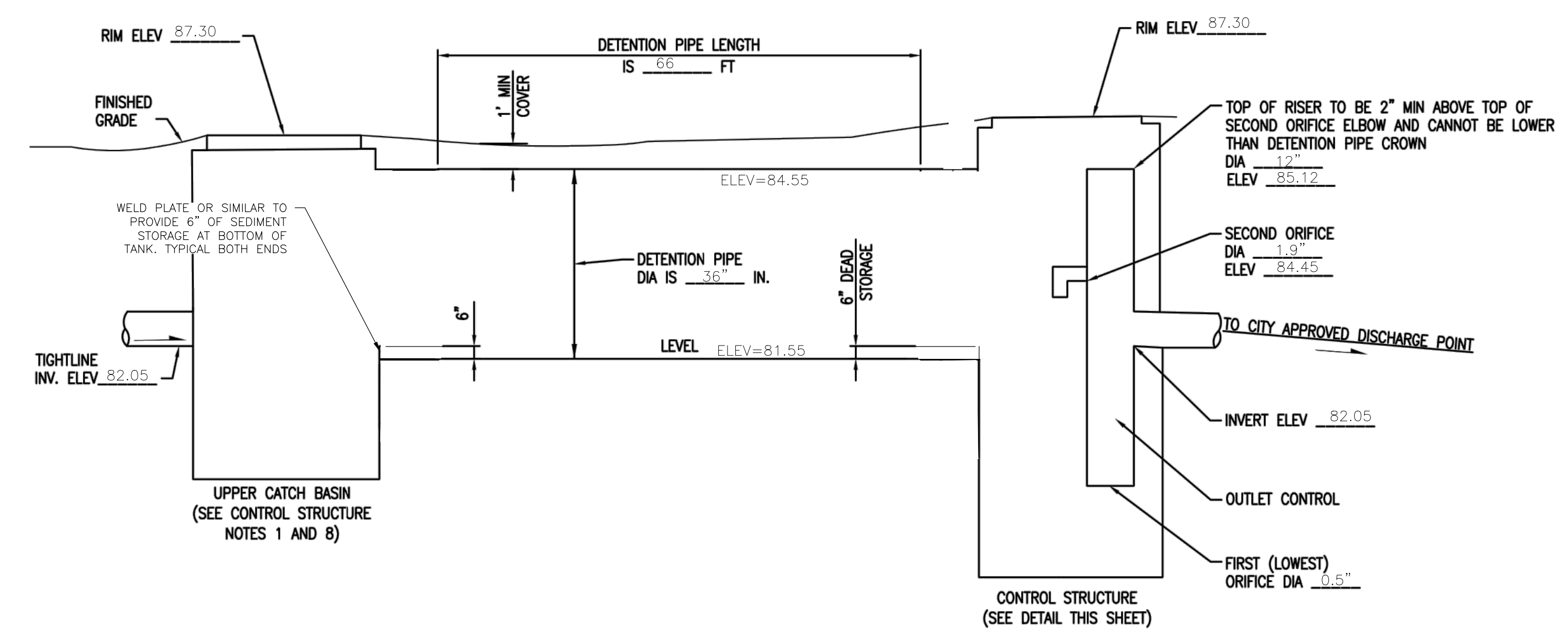
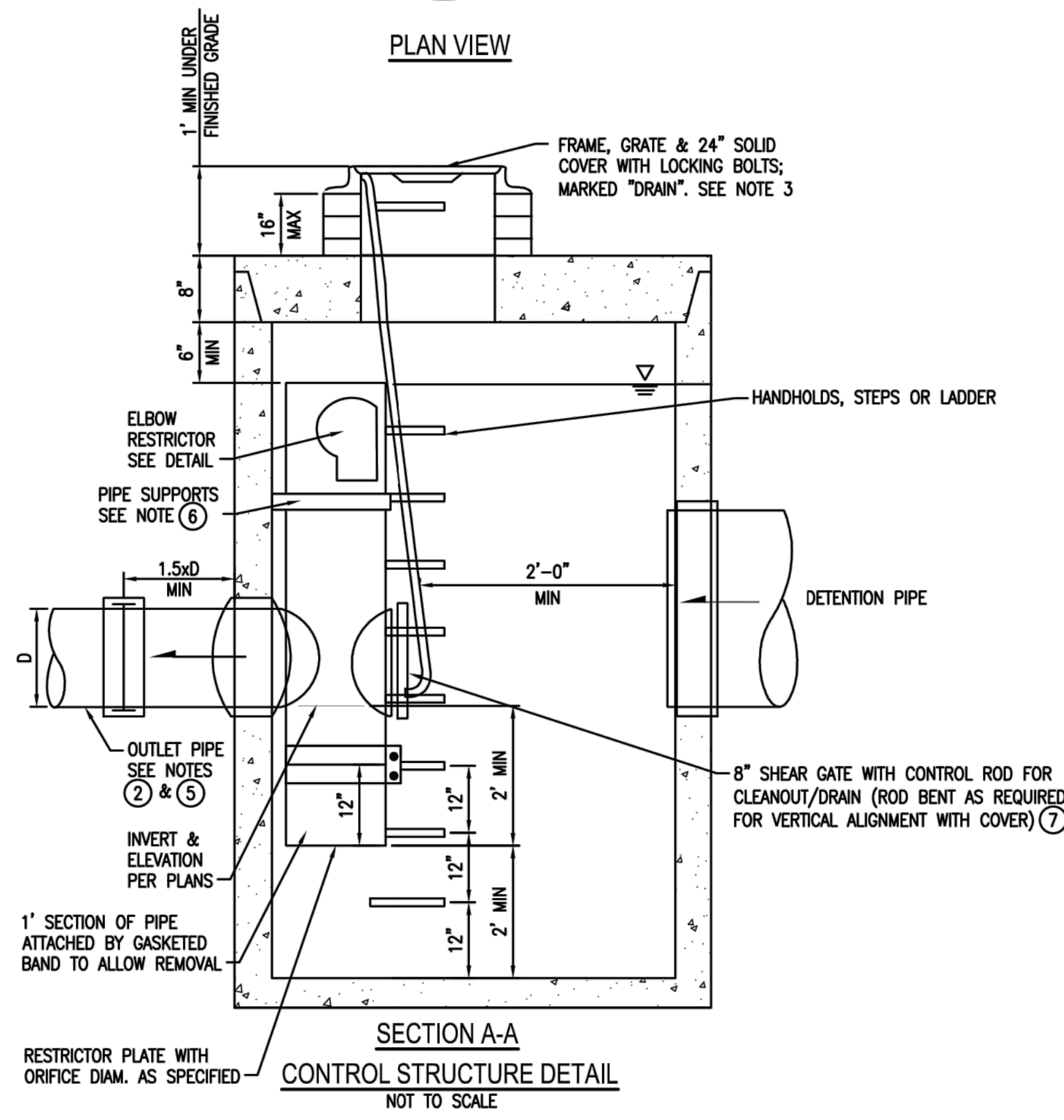


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 Federal Way, WA 98003
 FEDERAL WAY
 EVERETT
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 Civil Engineering
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 WASHINGTON

ATTACHMENT 1
CITY OF MERCER ISLAND
ON-SITE DETENTION SYSTEM WORKSHEET
(FOR NEW PLUS REPLACED IMPERVIOUS
AREA OF 9,500 SF OR LESS)



OWNER: <u>TIM & ELLEN PAEK</u>	ADDRESS: <u>2215 80TH AVE SE</u>	PREPARED BY: <u>ESM CONSULTING ENGINEERS</u>
PERMIT #:	<u>MERCER ISLAND, 98040</u>	PHONE: <u>(253) 838-6113</u>
		DATE: <u>04/24/2019</u>
NEW PLUS REPLACED IMPERVIOUS SURFACE AREA (SF): <u>2,891 (TRIBUTARY)</u>	DETENTION PIPE DIA (INCH): <u>.36"</u>	DETENTION PIPE LENGTH (FT): <u>.66'</u>
SOIL TYPE: <u>C</u>	PIPE MATERIAL: <u>CMP</u>	ORIFICE #1 DIA <u>.05</u> INCH, ELEV <u>80.05</u>
		ORIFICE #2 DIA <u>1.9</u> INCH, ELEV <u>84.45</u>



ON-SITE DETENTION SYSTEM
 NOT TO SCALE (ENGINEER TO FILL IN BLANKS)

CONTROL STRUCTURE NOTES:

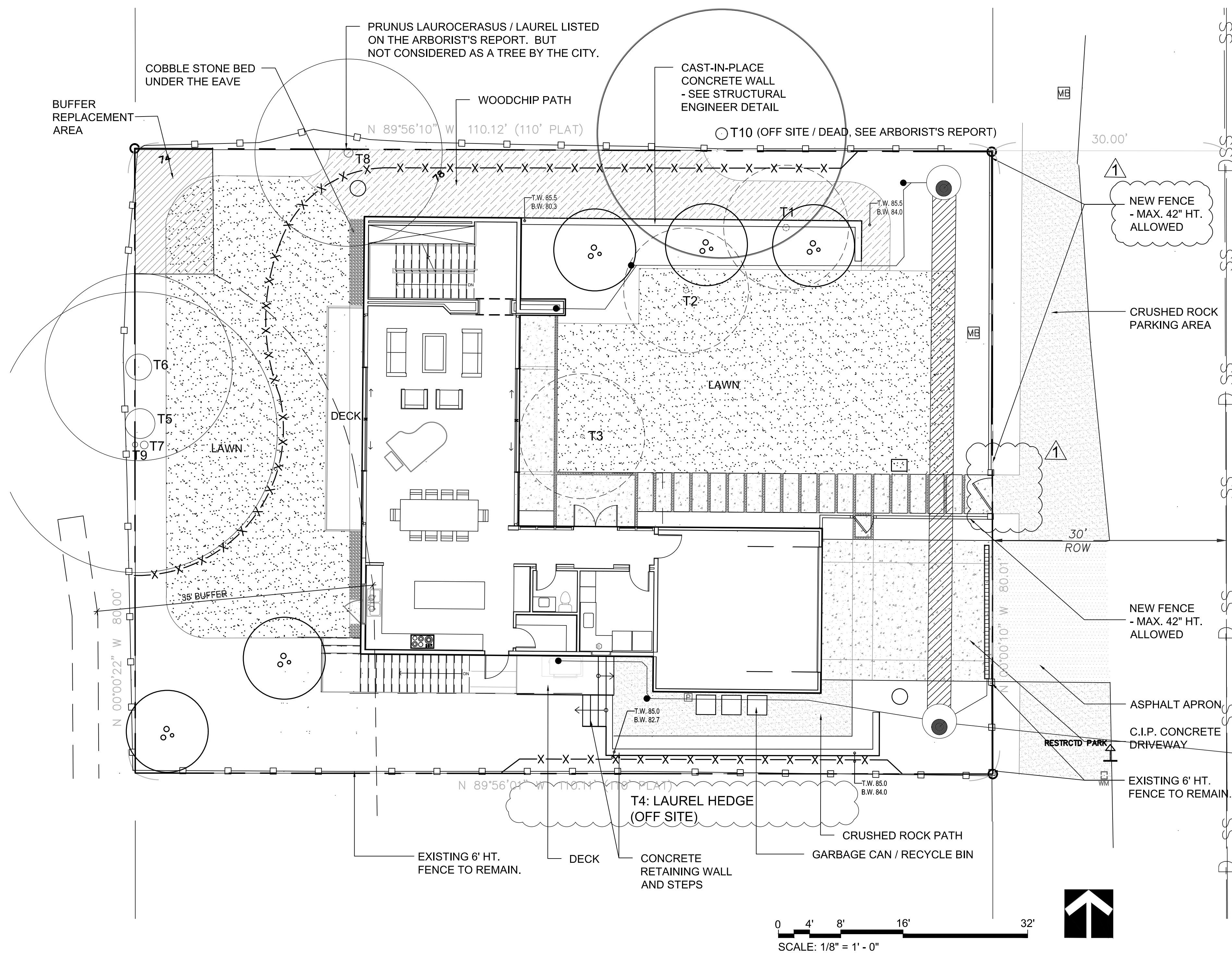
- USE A MINIMUM OF A 54 IN. DIAM. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
- OUTLET PIPE: MIN. 6 INCH.
- METAL PARTS: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
- FRAME AND LADDER OR STEPS OFFSET SO:
 - CLEANOUT GATE IS VISIBLE FROM TOP;
 - CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE;
 - FRAME IS CLEAR OF CURB.
- IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
- PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3'-0" VERTICAL SPACING).
- THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 26M AND ASTM B 275, DESIGNATION ZG32A; OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LIFT HANDLE SHALL BE MADE OF A SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION), IT MAY BE OF SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
- THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FT.

ON-SITE DETENTION SYSTEM NOTES:

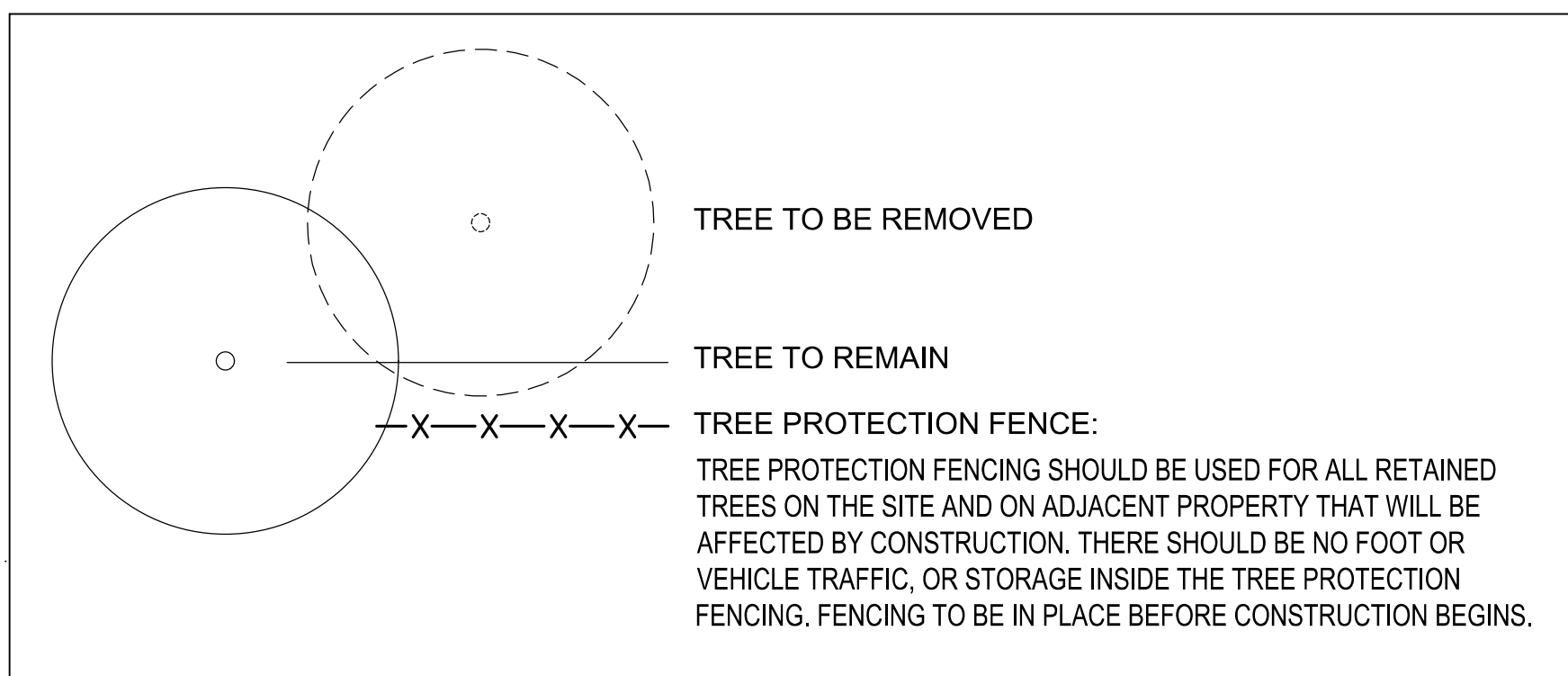
- CALL DEVELOPMENT SERVICES (206-275-7605) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
- RESPONSIBILITY FOR OPERATION AND MAINTANANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
- PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING, LINED CORRUGATED POLYETHYLENE PIPE (LCP), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
- FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.

File: \\parr\parr\ESM-0085\1954\03\018\parr\984002018-Paek Residence CIVIL_2019-04-18.dwg
 Plotted: 1/14/2020 1:22 PM
 Plotted By: Brandon Loucks

MZA ARCHITECTURE
PAEK RESIDENCE
 NOTES & DETAILS
 CITY OF MERCER ISLAND,
 JOB NO.: 1954-003-018
 DWG. NAME:
 DESIGNED BY: BML
 DRAWN BY: BML
 CHECKED BY:
 DATE: 04/30/2019
 DATE OF PRINT:
C3
 OF SHEETS



LEGEND



TOTAL EXISTING TREES ON SITE

KEY #	DBH / TYPE	CLASSIFICATION	STATUS	# OF REPLACEMENT TREE REQUIRED
T1	10" DBH MALUS SP. / APPLE	LARGE	REMOVE	2
T2	15" DBH MALUS SP. / APPLE	LARGE	-	2
T3	8" DBH PRUNUS SP. / CHERRY	SMALL	-	1
T5	47" DBH POPLUS NIGRA / LOMBARDY POPLAR	EXCEPTIONAL	RETAIN	-
T6	43" DBH POPLUS NIGRA / LOMBARDY POPLAR	EXCEPTIONAL	-	-
T7	12" DBH FRAXINUS SP. / ASH	LARGE	-	-
T9	7.5" DBH ACER MACROPHYLUM / BIG LEAF MAPLE	LARGE	-	-

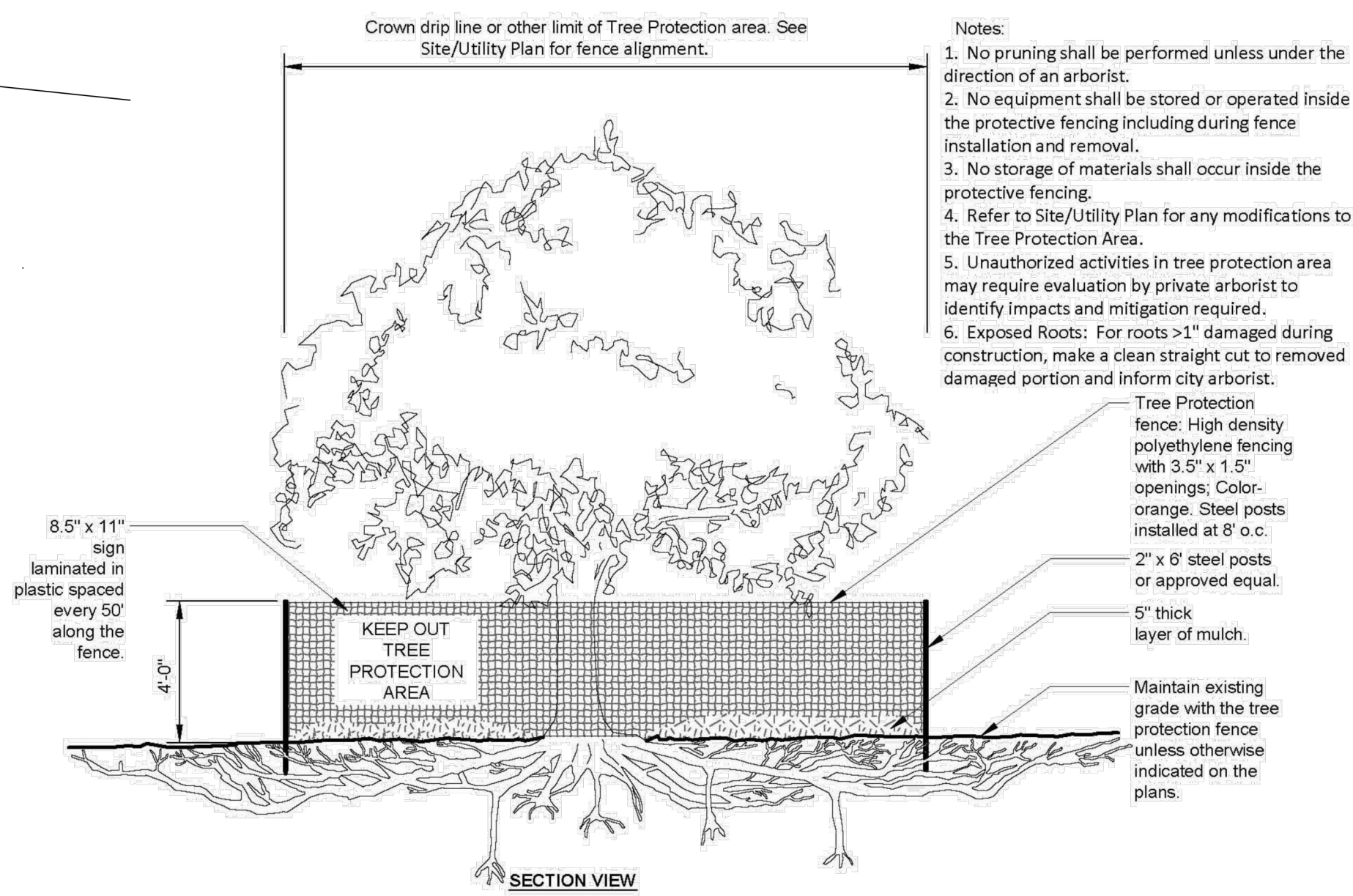
TOTAL # OF REPLACEMENT TREE REQUIRED: 5

TOTAL EXISTING LARGE / EXCEPTIONAL TREES ON SITE: 6 TREES

TOTAL EXISTING LARGE / EXCEPTIONAL TREES TO BE RETAINED: 4 TREES
(4/6*100 = 66.6% RETAINED)
MIN. 30% REQUIRED. THEREFORE OK

REPLACEMENT TREE SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY.	REMARKS
TREES				
	Acer circinatum Vine Maple	Min. 1.5" Cal. at base of trunk	5	Multi-trunk, full habit, well branched
TOTAL 5 TREES				
5 TREES REQUIRED, THEREFORE OK				



A TREE PROTECTON FENCE DETAIL

SCALE: NTS

PROJECT
PAEK RESIDENCE

ADDRESS
2215 80TH AVE SE
MERCER ISLAND, WA 98040

CLIENT
TIMOTHY PAEK

REVISIONS	DATE
1	8/9/2019

NO. ISSUED **DATE**

REVISIONS

DRAWING STATUS

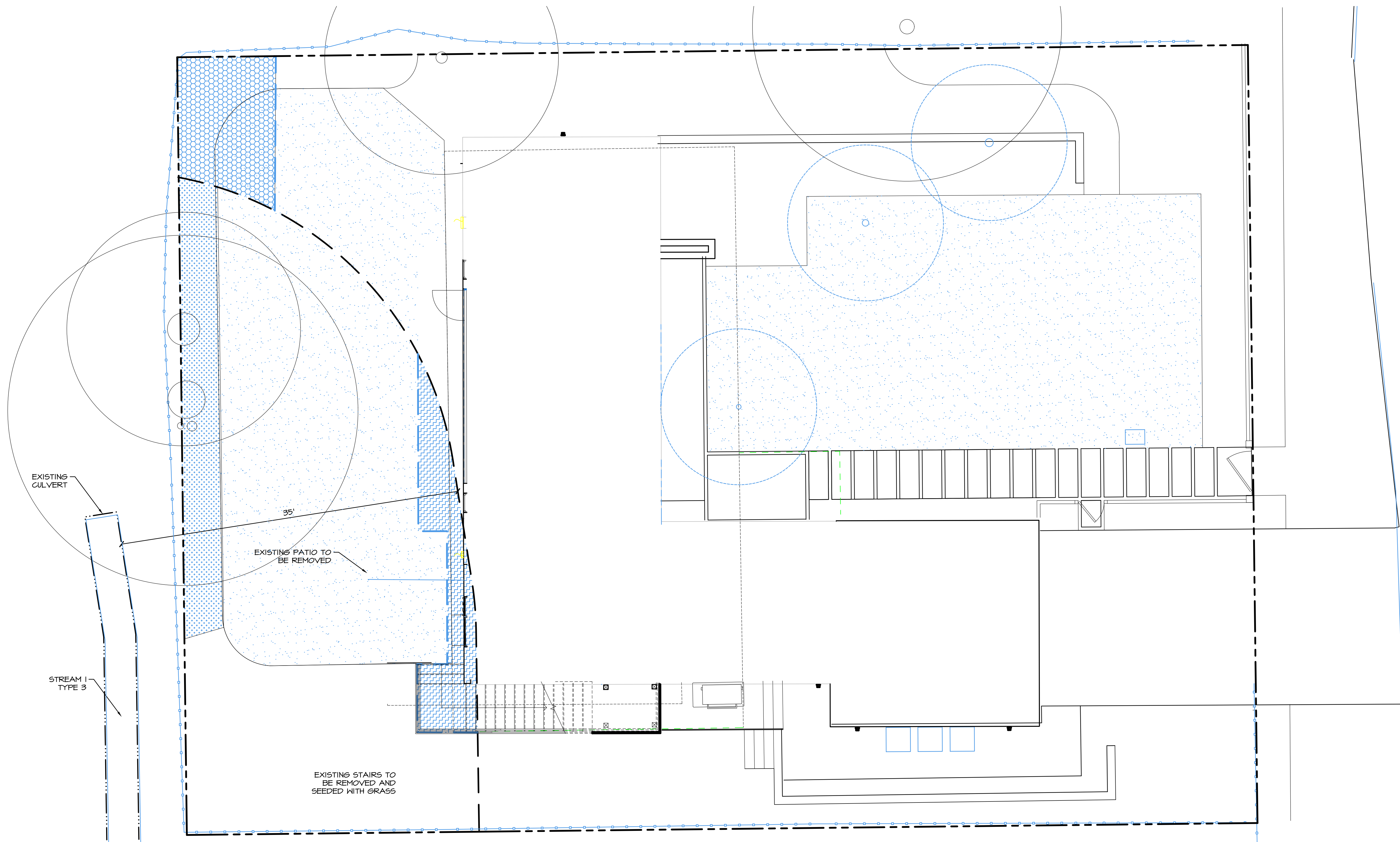
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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

ANR LANDSCAPE DESIGN

22310 98th Ave. W
Edmonds, WA 98020
p. 206.818.3610

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
ANRI N. RAPELLE
CERTIFICATE NO. 1055

STAMP	
DRAWING TITLE LANDSCAPE PLAN	DESIGNED ANR
DRAWN ANR	DATE 04/30/19
GRAPHIC SCALE As indicated	
PROJECT NO. 18-009	REVISION NO.
DRAWING NO. L1.0	



PLAN LEGEND

- PROPERTY LINE
- ORDINARY HIGH WATER LINE OF TYPE 3 STREAM
- 35' STANDARD STREAM BUFFER
- PROPOSED BUFFER

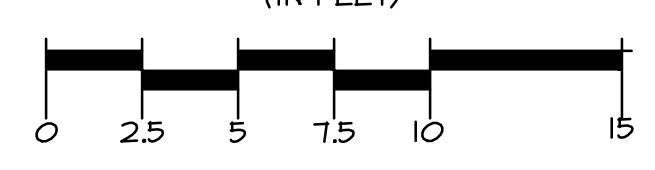
IMPACT LEGEND

- [Hatched Box] BUFFER REDUCTION 141 SF

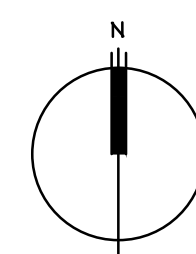
MITIGATION LEGEND

- [Hatched Box] BUFFER REPLACEMENT 141 SF
- [Hatched Box] STREAM BUFFER ENHANCEMENT 187 SF

GRAPHIC SCALE
(IN FEET)



SCALE: 1:5



GENERAL NOTES

1. BASE INFORMATION PROVIDED BY MZA ARCHITECTURE, 600 108TH AVE NE, SUITE 108, BELLEVUE, WA 98004, (425) 554-7888.

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Architecture

Altmann Oliver Associates, LLC
PO Box 378
Camas, WA 98014
Office (425) 333-4558 Fax (425) 333-4509

BUFFER AVERAGING PLAN
PAEK RESIDENCE
2215 80TH AVE SE
MERCER ISLAND, WA 98040

Revisions	Date	By
REVISIONS PER CITY	8/20/19	SO
REVISIONS PER CITY	1/14/20	SO

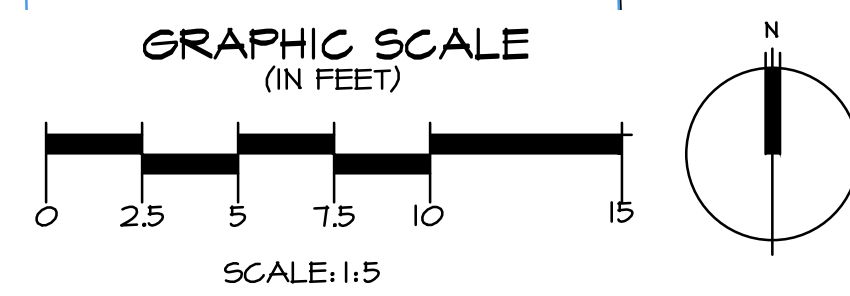
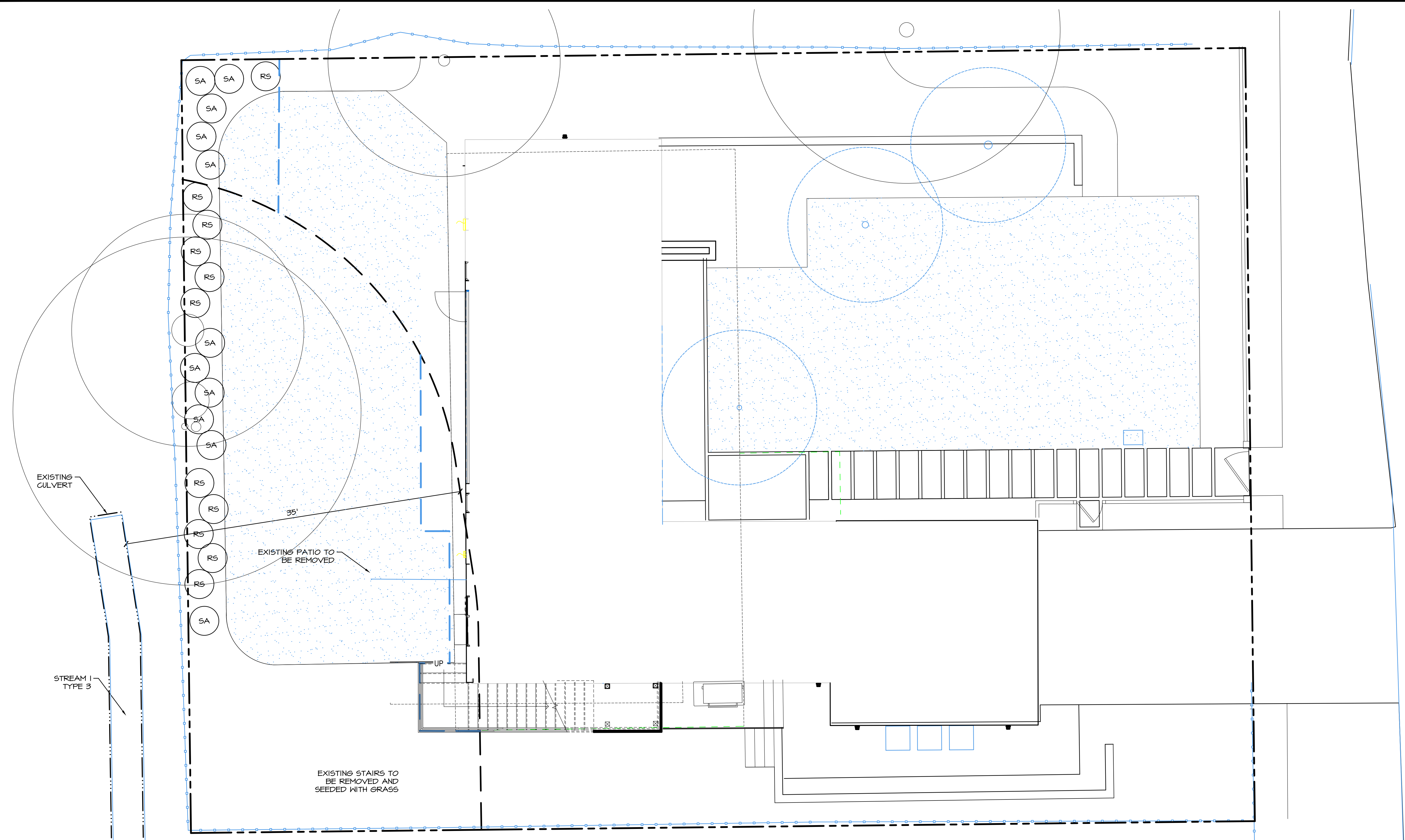
Date: 04-30-19
Scale: AS NOTED
Project#: 5200

Sheet # **N-1**

**PLANTING PLAN
 PAAK RESIDENCE
 2215 80TH AVE SE
 MERCER ISLAND, WA 98040**

Revisions	Date	By
REVISIONS PER CITY	8/20/19	SO
REVISIONS PER CITY	1/14/20	SO

Date	04-30-19
Scale	AS NOTED
Project #	5200
Sheet #	N-2



PLANT SCHEDULE

KEY	SCIENTIFIC NAME	COMMON NAME	SPACING	QTY.	SIZE (MIN.)	NOTES
RS	RIBES SANGUINEUM	RED CURRANT	3' O.C.	11	1 GAL.	MULTI-STEM (3 MIN.)
SA	SYMPHORICARPOS ALBUS	SNOWBERRY	3' O.C.	11	1 GAL.	MULTI-STEM (3 MIN.)

NOTES:
 1. THE PLANS WILL BE MONITORED TWICE, APPROXIMATELY ONE YEAR AFTER PLANT INSTALLATION (TO DETERMINE SURVIVAL AND REPLACEMENT) AND FIVE YEARS AFTER PLANT INSTALLATION TO ENSURE THE MITIGATION ACTIONS OF THE PROJECT ARE A SUCCESS.
 2. THE APPLICANT SHALL INSTALL AND HAVE INSPECTED FULL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO CONSTRUCTION.

GENERAL NOTES

1. BASE INFORMATION PROVIDED BY MZA ARCHITECTURE, 600 108TH AVE NE, SUITE 108, BELLEVUE, WA 98004, (425) 554-7088.

CONSTRUCTION SPECIFICATIONS

- ALL PLANTS SHOULD BE INSTALLED BETWEEN DECEMBER 1ST AND MARCH 15TH, UNLESS SUPPLEMENTAL IRRIGATION IS PROVIDED.
- INTERMEDIATE INSPECTIONS. ALL PLANTS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE DESIGNER AND/OR WETLAND BIOLOGIST PRIOR TO INSTALLATION. CONDITION OF ROOTS OF A RANDOM SAMPLE OF PLANTS WILL BE INSPECTED, AS WELL AS ALL ABOVEGROUND GROWTH ON ALL PLANTS. ROOTS OF ANY BARE ROOT PLANTS, IF PERMITTED FOR USE, WILL BE INSPECTED. PLANT MATERIAL MAY BE APPROVED AT THE SOURCE, AT THE DISCRETION OF THE LANDSCAPE DESIGNER AND THE WETLAND BIOLOGIST, BUT ALL MATERIAL MUST BE RE-INSPECTED AND APPROVED ON THE SITE PRIOR TO INSTALLATION. PLANT LOCATIONS SHALL ALSO BE INSPECTED AND APPROVED PRIOR TO PLANTING.
- ALL PLANTS SHALL BE PIT-PLANTED IN PLANTING PITS EXCAVATED 2X THE DIAMETER OF THE PLANT. PITS SHALL BE BACKFILLED WITH A 30/70 MIX OF STEERCO TO NATIVE SOIL. PITS SHALL BE AMENDED WITH A HYDRATED SOIL POLYMER (INSTALLED AT RATES PER MANUFACTURER'S SPECIFICATIONS). PLANTS SHALL BE INSTALLED 3" HIGH AND SURFACED MULCHED TO A DEPTH OF 3" WITH PACIFIC GARDEN MULCH PLACED CONTINUOUSLY THROUGHOUT THE PLANTING BED.
- ALL PLANTS SHALL BE NURSERY GROWN (IN WESTERN WA OR OR) FOR AT LEAST 1 YEAR FROM PURCHASE DATE, FREE FROM DISEASE OR PESTS, WELL-ROOTED, BUT NOT ROOT-BOUND AND TRUE TO SPECIES.
- PLANT LAYOUT SHALL BE APPROVED BY AOA PRIOR TO INSTALLATION AND APPROVED UPON COMPLETION OF PLANTING.
- UPON COMPLETION OF PLANTING, ALL PLANTS SHALL BE THOROUGHLY WATERED.
- UPON APPROVAL OF PLANTING INSTALLATION BY AOA, THE CITY OF MERCER ISLAND WILL BE NOTIFIED TO CONDUCT A SITE REVIEW FOR FINAL APPROVAL OF CONSTRUCTION.
- MAINTENANCE SHALL BE IMPLEMENTED ON A REGULAR BASIS ACCORDING TO THE SCHEDULE BELOW.

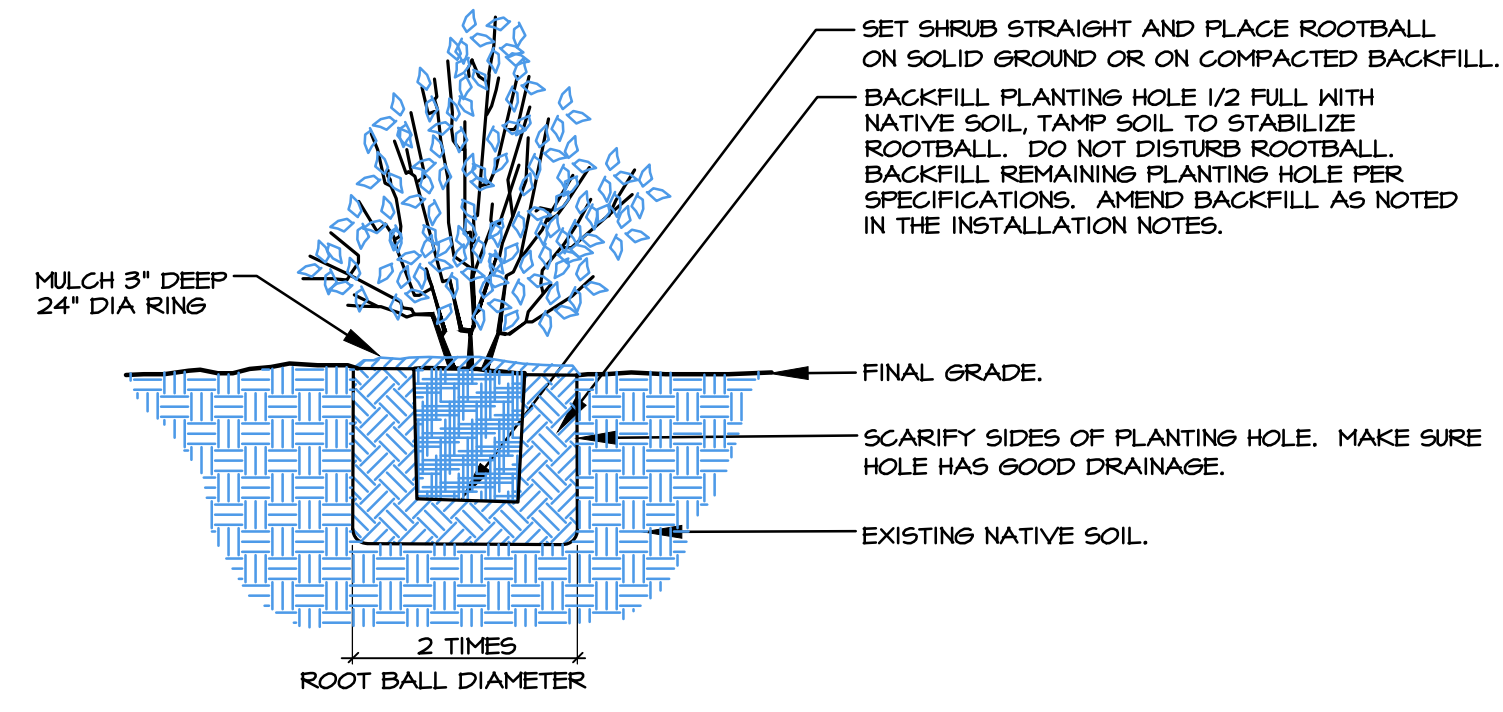
ANNUAL MAINTENANCE SCHEDULE

MAINTENANCE ITEM	J	F	M	A	M	J	J	A	S	O	N	D
WATERING - YEARS 1 & 2							Ø	Ø	Ø	Ø		
WEED CONTROL												
GENERAL MAINT.												

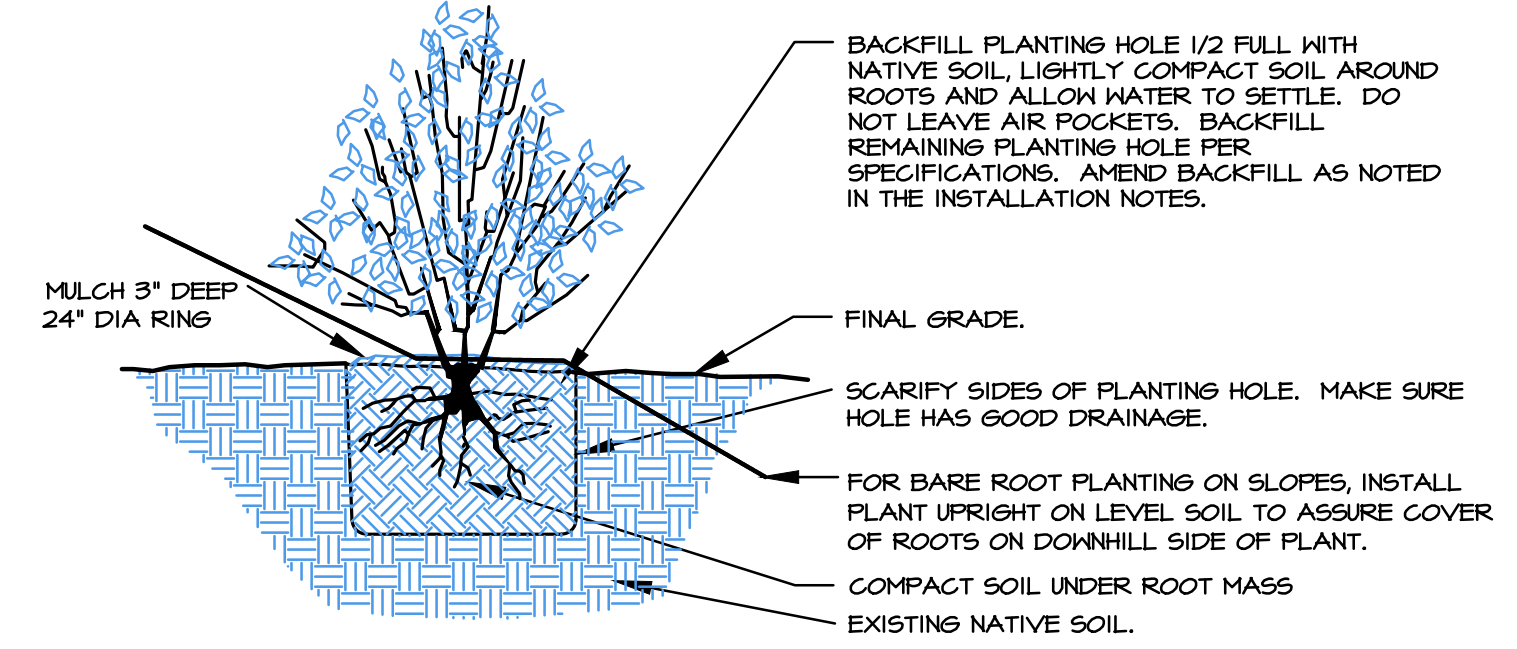
Ø = NUMBER OF TIMES TASK SHALL BE PERFORMED PER MONTH.

NOTES:

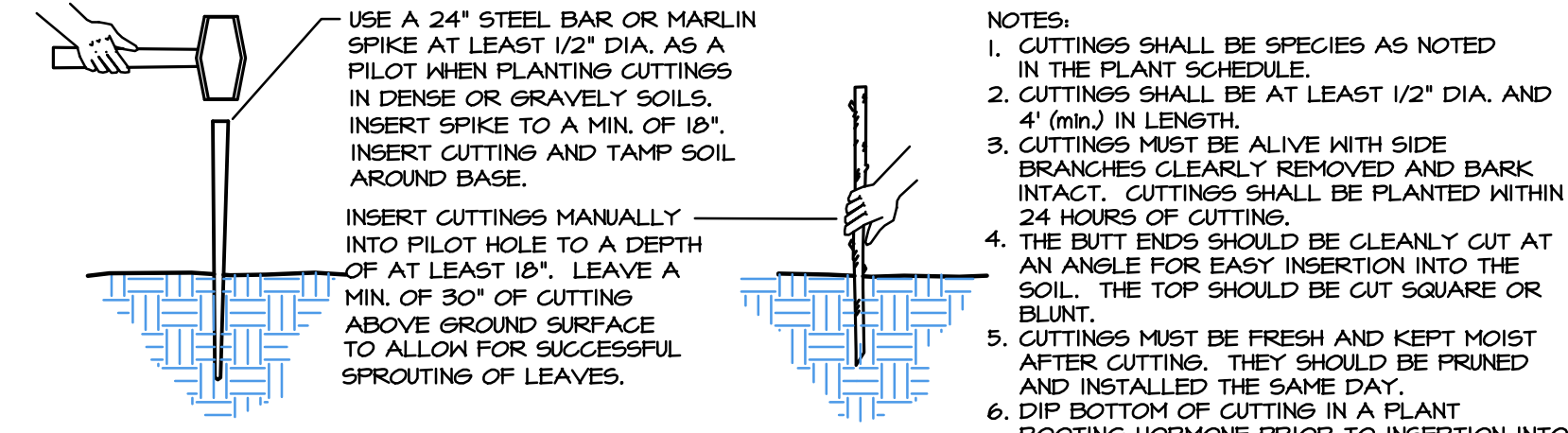
- THE PLANTS WILL BE MONITORED TWICE, APPROXIMATELY ONE YEAR AFTER PLANT INSTALLATION (TO DETERMINE SURVIVAL AND REPLACEMENT) AND FIVE YEARS AFTER PLANT INSTALLATION TO ENSURE THE MITIGATION ACTIONS OF THE PROJECT ARE A SUCCESS.
- THE APPLICANT SHALL INSTALL AND HAVE INSPECTED FULL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO CONSTRUCTION.



1 CONTAINER PLANTING DETAIL (TYP.)
SCALE: NTS

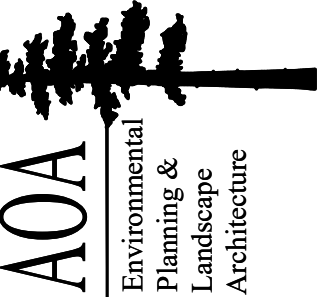


2 BARE-ROOT PLANTING DETAIL (TYP.)
SCALE: NTS



3 CUTTING INSTALLATION (TYP.)
SCALE: NTS

- ### NOTES:
- CUTTINGS SHALL BE SPECIES AS NOTED IN THE PLANT SCHEDULE.
 - CUTTINGS SHALL BE AT LEAST 1/2" DIA. AND 4' (min.) IN LENGTH.
 - CUTTINGS MUST BE ALIVE WITH SIDE BRANCHES CLEARLY REMOVED AND BARK INTACT. CUTTINGS SHALL BE PLANTED WITHIN 24 HOURS OF CUTTING.
 - THE BUTT ENDS SHOULD BE CLEANLY CUT AT AN ANGLE FOR EASY INSERTION INTO THE SOIL. THE TOP SHOULD BE CUT SQUARE OR BLUNT.
 - CUTTINGS MUST BE FRESH AND KEPT MOIST AFTER CUTTING. THEY SHOULD BE PRUNED AND INSTALLED THE SAME DAY.
 - DIP BOTTOM OF CUTTINGS IN A PLANT ROOTING HORMONE PRIOR TO INSERTION INTO THE SOIL.



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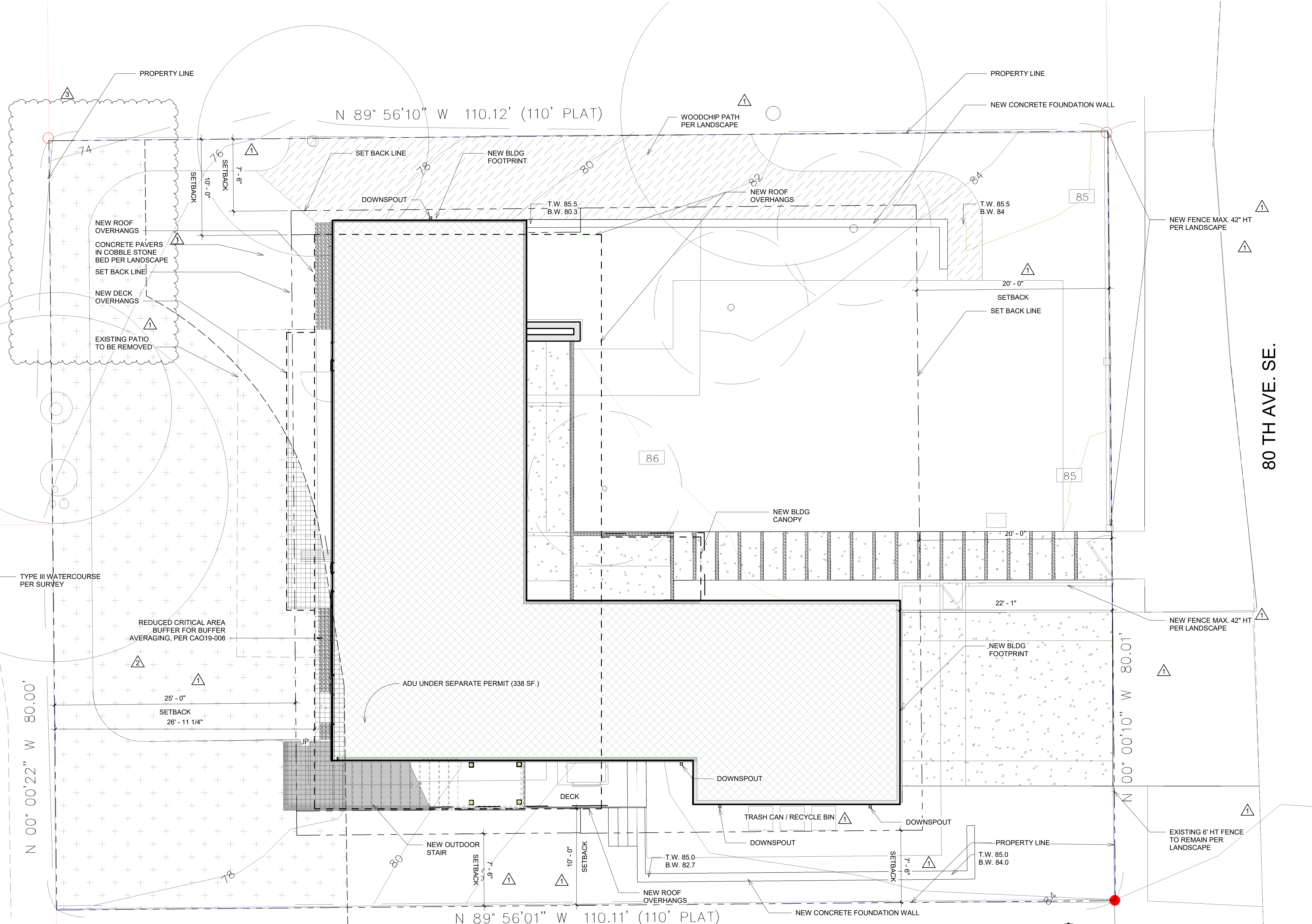
Altmann Oliver Associates, LLC
Office (425) 333-4535 Fax (425) 333-4509
PO Box 378
Carnation, WA 98014

SPECIFICATIONS & DETAILS
PAEK RESIDENCE
2215 80TH AVE SE
MERCER ISLAND, WA 98040

Revisions	Date	By
REVISIONS PER CITY	8/20/19	SO
REVISIONS PER CITY	1/14/20	SO

Date 04-30-19
Scale AS NOTED
Project# 5200

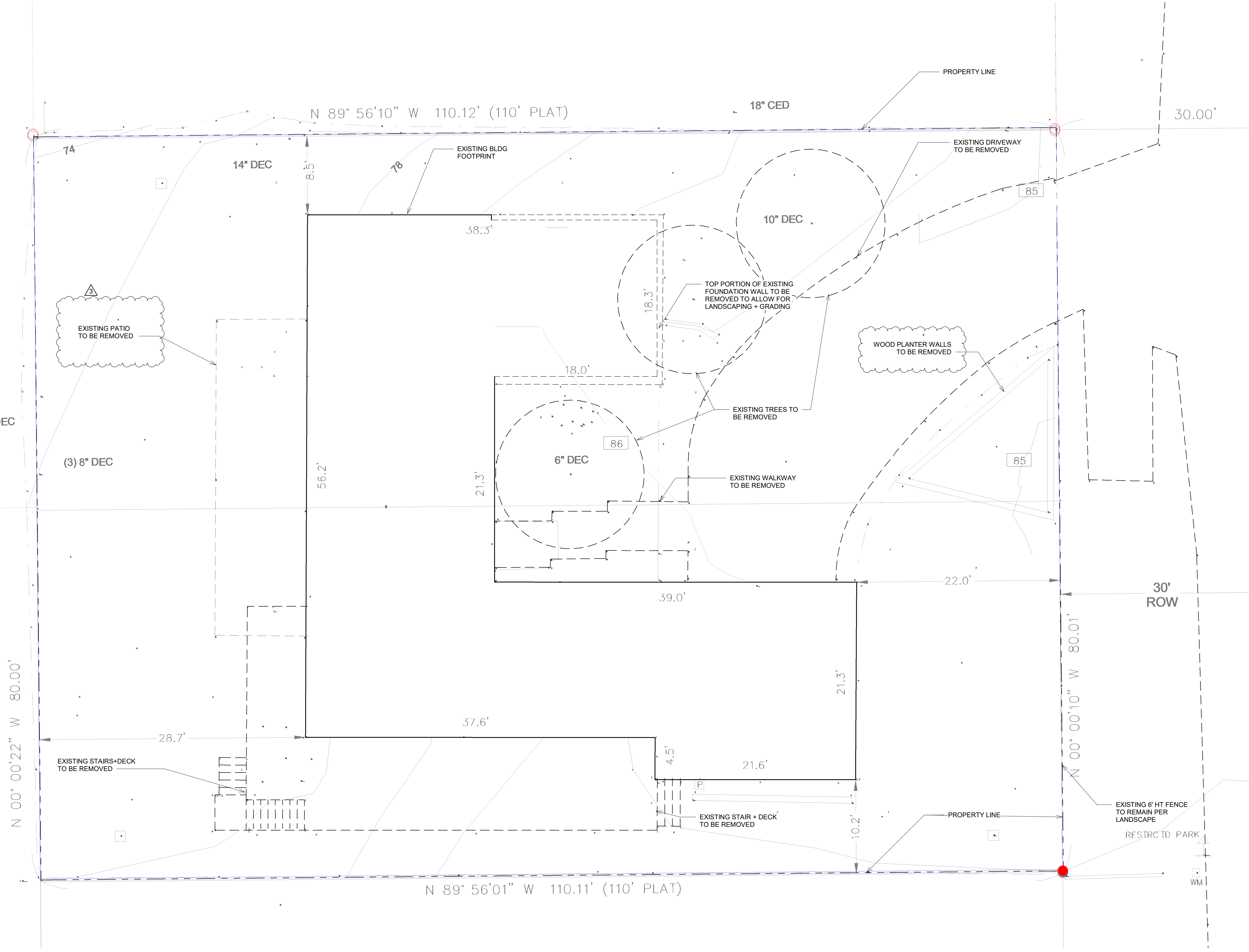
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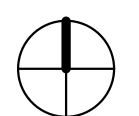
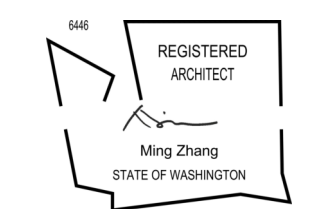
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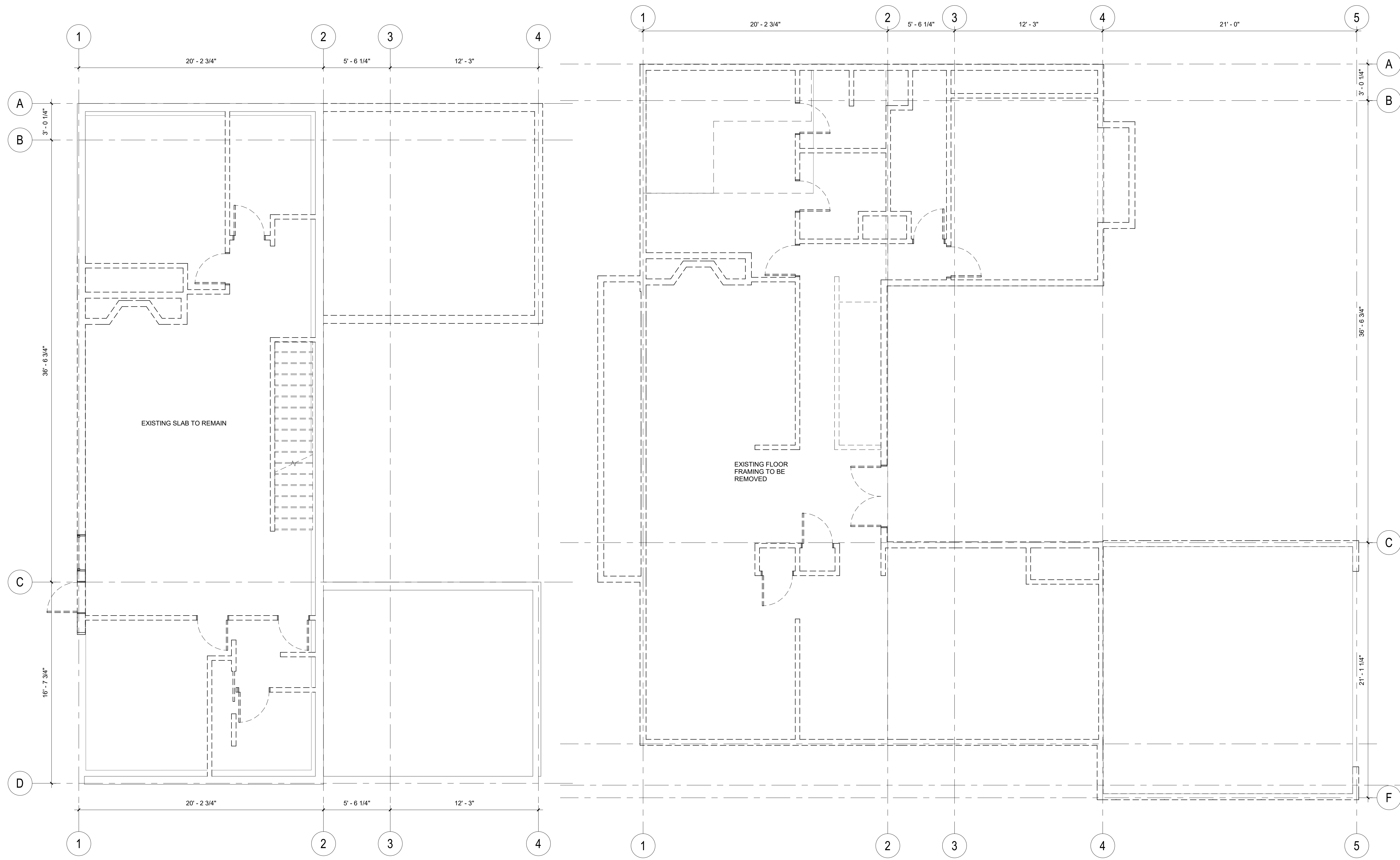
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ADDRESS 2215 80th Ave SE Mercer Island, WA 98040														
CLIENT Timothy & Elen Paek														
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No.	Description	Date												
3	Comment 3	Date 3												
2	Comment 2	11/26/19												
1	Comment 1	08/16/19												
REVISIONS														
DRAWING STATUS														
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<p>MZA ARCHITECTURE</p> <p>600 108th Ave NE Suite 108 Bellevue WA 98004 425.559.7888 contact@mzaos.com</p>														
STAMP														
DRAWING TITLE SITE PLAN														
DRAWN		DESIGNED												
DATE 08/16/19														
GRAPHIC SCALE 3/16" = 1'-0"														
PROJECT NO. 18-009														
DRAWING NO. A1.1	REVISION NO. 3													

80 TH AVE. SE.




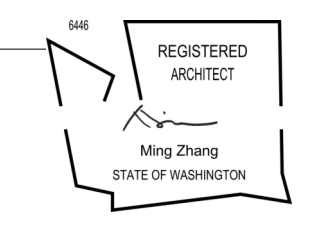
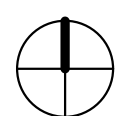
1 SITE PLAN - DEMO
Scale: 3/16" = 1'-0"

PROJECT PAEK RESIDENCE		
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040		
CLIENT Timothy & Elen Paek		
3	Comment 3	Date 3
1	Comment 1	08/16/19
No.	Description	Date
REVISIONS		
DRAWING STATUS		
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 ARCHITECTURE 600 108th Ave NE Suite 1108 Bellevue WA 98004 425.559.7888 contact@mzaus.com		
STAMP		
		
DRAWING TITLE SITE PLAN - DEMO		
DRAWN Author	DESIGNED Designer	
DATE 08/19/19		
GRAPHIC SCALE 3/16" = 1'-0"		
PROJECT NO. 18-009		
DRAWING NO. A1.2	REVISION NO. 3	



1 BASEMENT LEVEL - DEMO PLAN
Scale: 1/4" = 1'-0"

2 ENTRY LEVEL - DEMO PLAN
Scale: 1/4" = 1'-0"

PROJECT PAEK RESIDENCE		
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040		
CLIENT Timothy & Elen Paek		
No.	Description	Date
REVISIONS		
DRAWING STATUS		
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>		
 ARCHITECTURE 600 108th Ave NE Suite 108 Bellevue WA 98004 425.559.7888 contact@mzaus.com		
STAMP 		
DRAWING TITLE FLOOR PLANS		
DRAWN Author	DESIGNED Designer	
DATE 08/16/19		
GRAPHIC SCALE 1/4" = 1'-0"		
PROJECT NO. 18-009		
DRAWING NO. A2.0	REVISION NO.	

PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

CLIENT
Timothy & Elen Paek


3	Comment 3	Date 3
2	Comment 2	11/26/19
1	Comment 1	08/16/19

No.	Description	Date

REVISIONS

DRAWING STATUS

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MZA
ARCHITECTURE

600 108th Ave NE
Suite 108
Bellevue WA 98004

425.559.7888
contact@mza.com

STAMP

REGISTERED ARCHITECT

Ming Zhang

STATE OF WASHINGTON

DRAWING TITLE
BASEMENT & GROUND FLOOR PLANS

DRAWN Author	DESIGNED Designer
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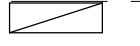

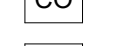
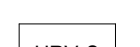





DATE 08/16/19

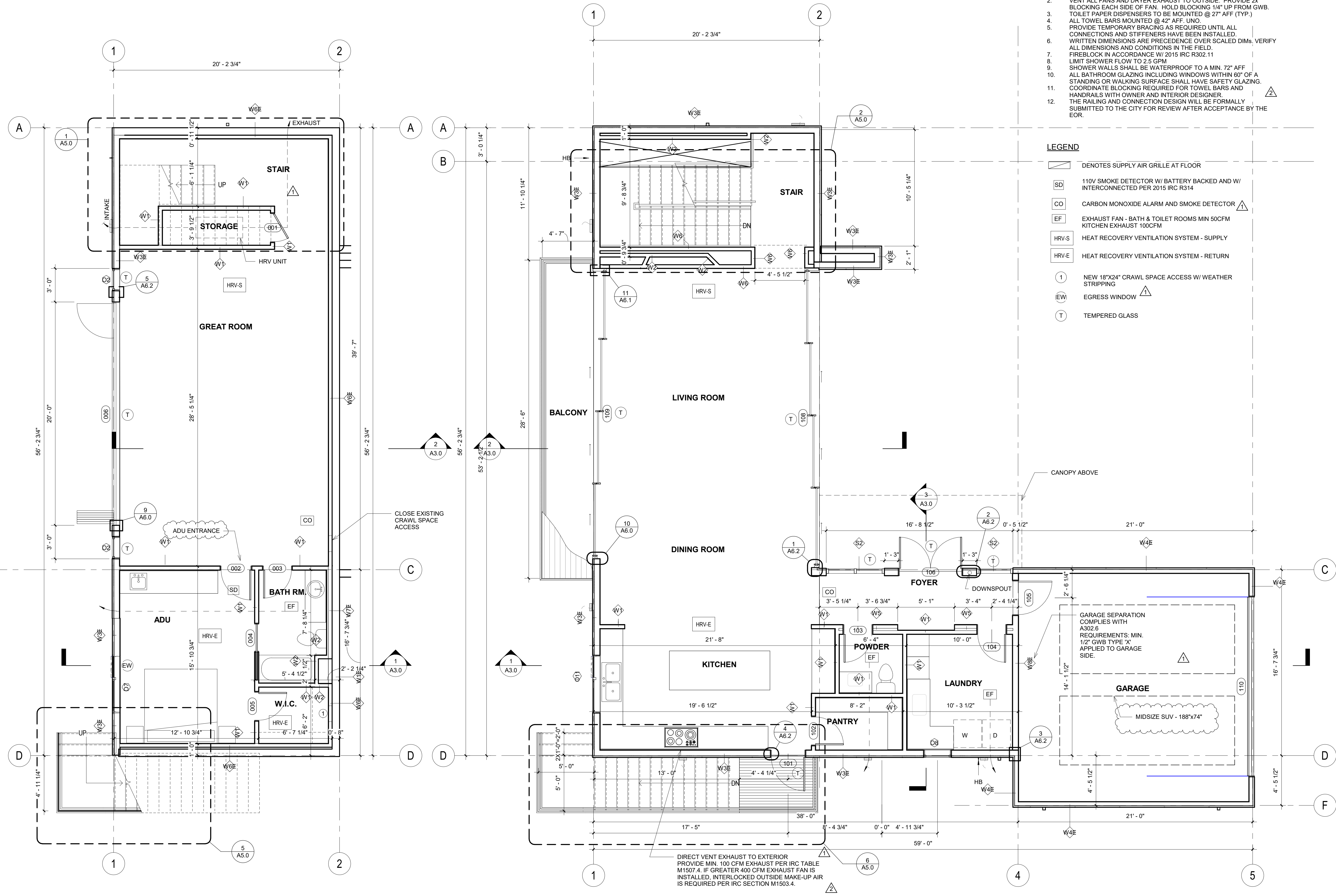
GRAPHIC SCALE
As indicated

PROJECT NO.
18-009

DRAWING NO. A2.1	REVISION NO. 3
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- ALL WINDOWS SHALL COMPLY W/ WSEC FRAMERS TO VERIFY R.O.
- VENT ALL FANS AND DRYER EXHAUST TO OUTSIDE. PROVIDE 2x BLOCKING EACH SIDE OF FAN. HOLD BLOCKING 1/4" UP FROM GWB.
- TOILET PAPER DISPENSERS TO BE MOUNTED @ 27" AFF. (TYP.)
- ALL TOWEL BARS MOUNTED @ 42" AFF. UNO.
- PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL CONNECTIONS AND STIFFENERS HAVE BEEN INSTALLED.
- WRITTEN DIMENSIONS ARE PRECEDENCE OVER SCALED DIMS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
- FIREBLOCK IN ACCORDANCE W/ 2015 IRC R302.11
- LIMIT SHOWER FLOW TO 2.5 GPM
- SHOWER WALLS SHALL BE WATERPROOF TO A MIN. 72" AFF
- ALL BATHROOM GLAZING INCLUDING WINDOWS WITHIN 60" OF A STANDING OR WALKING SURFACE SHALL HAVE SAFETY GLAZING. COORDINATE BLOCKING REQUIRED FOR TOWEL BARS AND HANDRAILS WITH OWNER AND INTERIOR DESIGNER.
- THE RAILING AND CONNECTION DESIGN WILL BE FORMALLY SUBMITTED TO THE CITY FOR REVIEW AFTER ACCEPTANCE BY THE EOR.

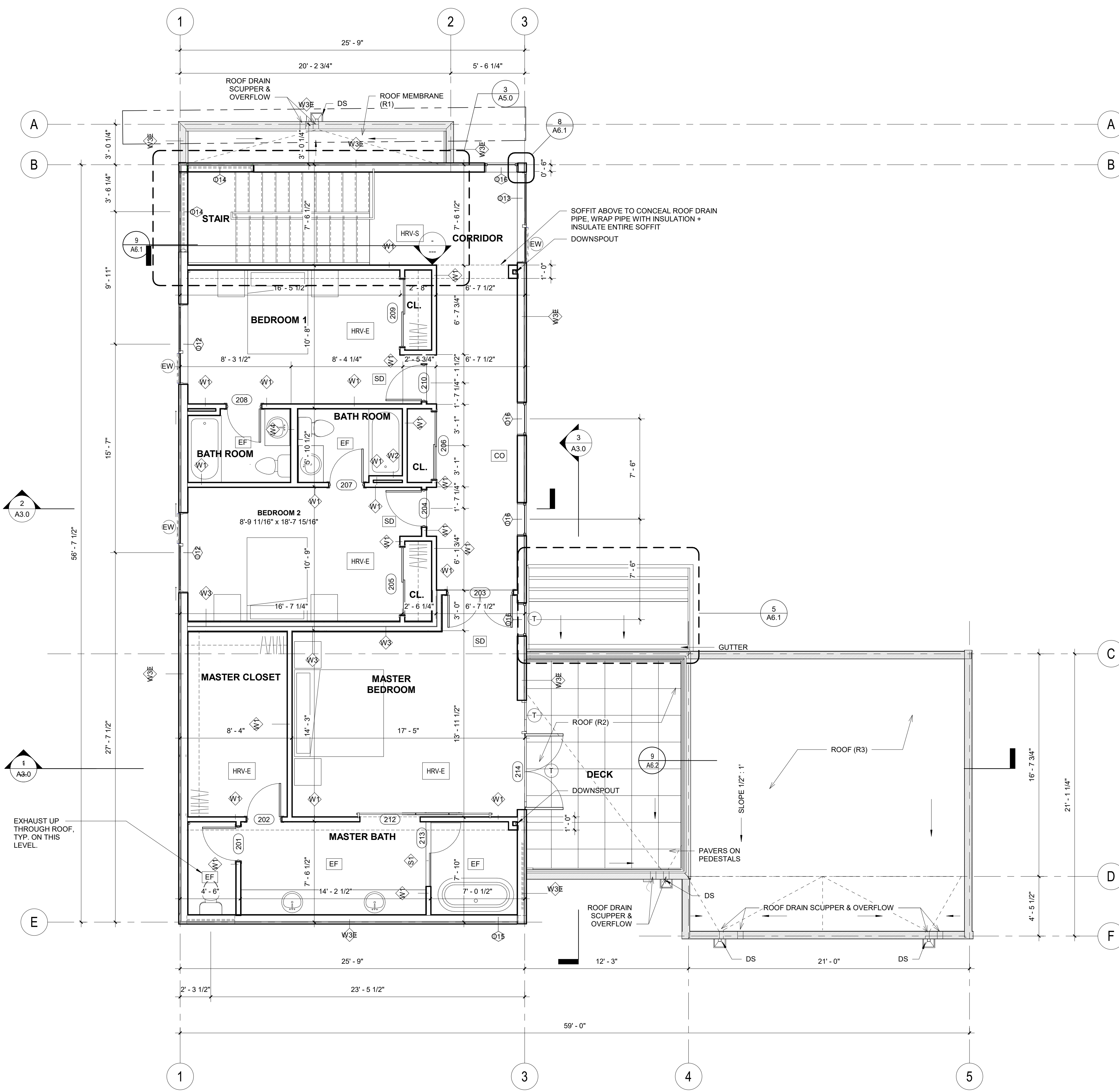
- LEGEND**
-  DENOTES SUPPLY AIR GRILLE AT FLOOR
 -  110V SMOKE DETECTOR W/ BATTERY BACKED AND W/ INTERCONNECTED PER 2015 IRC R314
 -  CARBON MONOXIDE ALARM AND SMOKE DETECTOR
 -  EXHAUST FAN - BATH & TOILET ROOMS MIN 50CFM KITCHEN EXHAUST 100CFM
 -  HEAT RECOVERY VENTILATION SYSTEM - SUPPLY
 -  HEAT RECOVERY VENTILATION SYSTEM - RETURN
 -  NEW 18"x24" CRAWL SPACE ACCESS W/ WEATHER STRIPPING
 -  EGRESS WINDOW
 -  TEMPERED GLASS



1 BASEMENT LEVEL
Scale: 1/4" = 1'-0"

2 ENTRY LEVEL
Scale: 1/4" = 1'-0"

24"x36" ARCH D - SHEET SIZE



1. ALL WINDOWS SHALL COMPLY W/ WSEC FRAMERS TO VERIFY R.O.
2. VENT ALL FANS AND DRYER EXHAUST TO OUTSIDE. PROVIDE 2x BLOCKING EACH SIDE OF FAN. HOLD BLOCKING 1/4" UP FROM GWB.
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11. THE RAILING AND CONNECTION DESIGN WILL BE FORMALLY SUBMITTED TO THE CITY FOR REVIEW AFTER ACCEPTANCE BY THE EOR.
- 12.

LEGEND

- DENOTES SUPPLY AIR GRILLE AT FLOOR
- 110V SMOKE DETECTOR W/ BATTERY BACKED AND W/ INTERCONNECTED PER 2015 IRC R314
- CARBON MONOXIDE ALARM AND SMOKE DETECTOR
- EXHAUST FAN - BATH & TOILET ROOMS MIN 50CFM
KITCHEN EXHAUST 100CFM
- HEAT RECOVERY VENTILATION SYSTEM - SUPPLY
- HEAT RECOVERY VENTILATION SYSTEM - RETURN
- NEW 18"x24" CRAWL SPACE ACCESS W/ WEATHER STRIPPING
- EGRESS WINDOW
- TEMPERED GLASS

PROJECT PAEK RESIDENCE		
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040		
CLIENT Timothy & Elen Paek		
2	Comment 2	11/26/19
No.	Description	Date
REVISIONS		
DRAWING STATUS		
Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.		



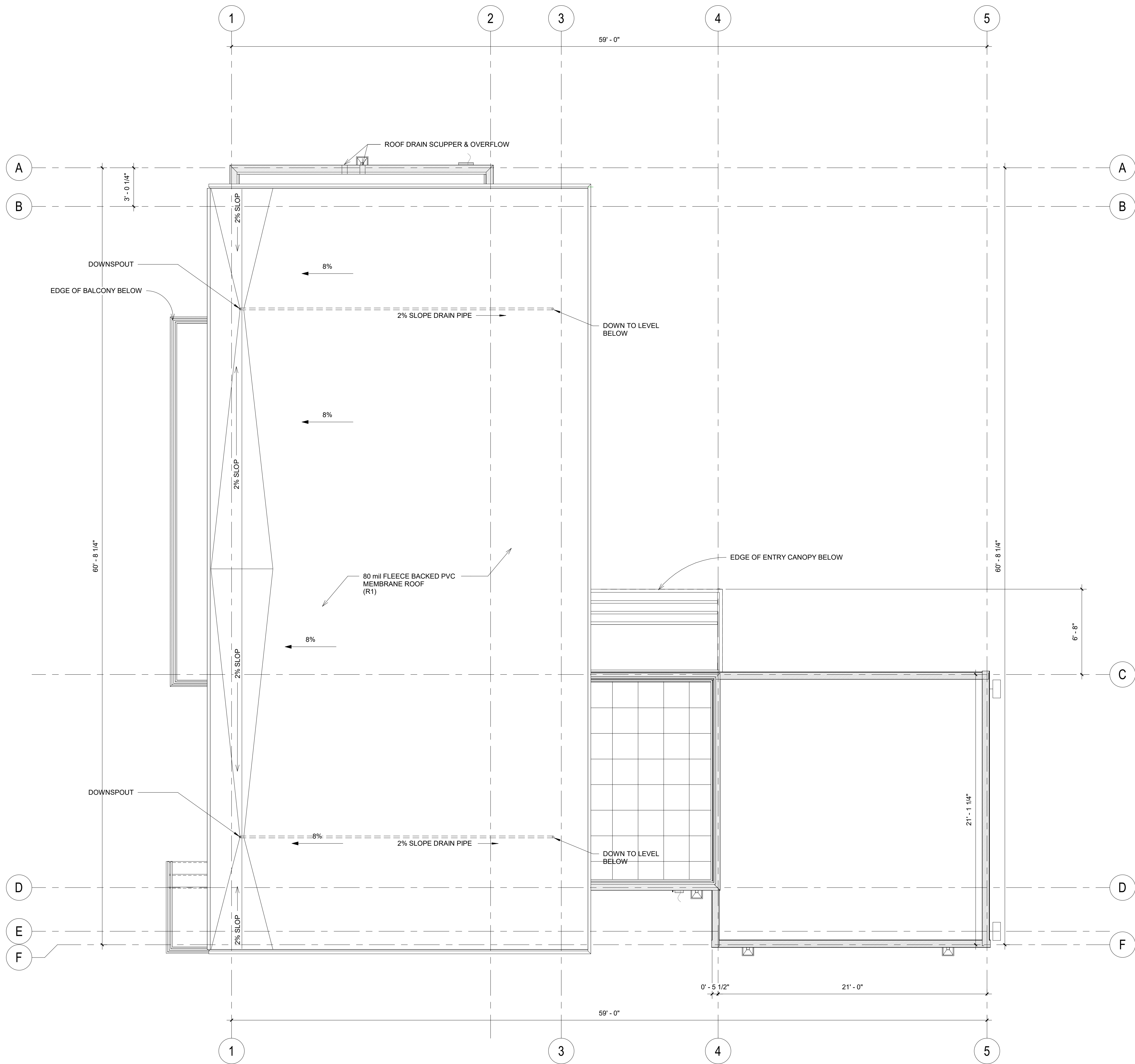
600 108th Ave NE
Suite 1108
Bellevue WA 98004
425.559.7888
contact@mza.us

STAMP

DRAWING TITLE UPPER LEVEL PLAN	
DRAWN Author	DESIGNED Designer
DATE 08/16/19	
GRAPHIC SCALE As indicated	
PROJECT NO. 18-009	
DRAWING NO. A2.2	REVISION NO. 2

1 UPPER LEVEL
Scale: 1/4" = 1'-0"

FILE NAME:
PLOT DATE:



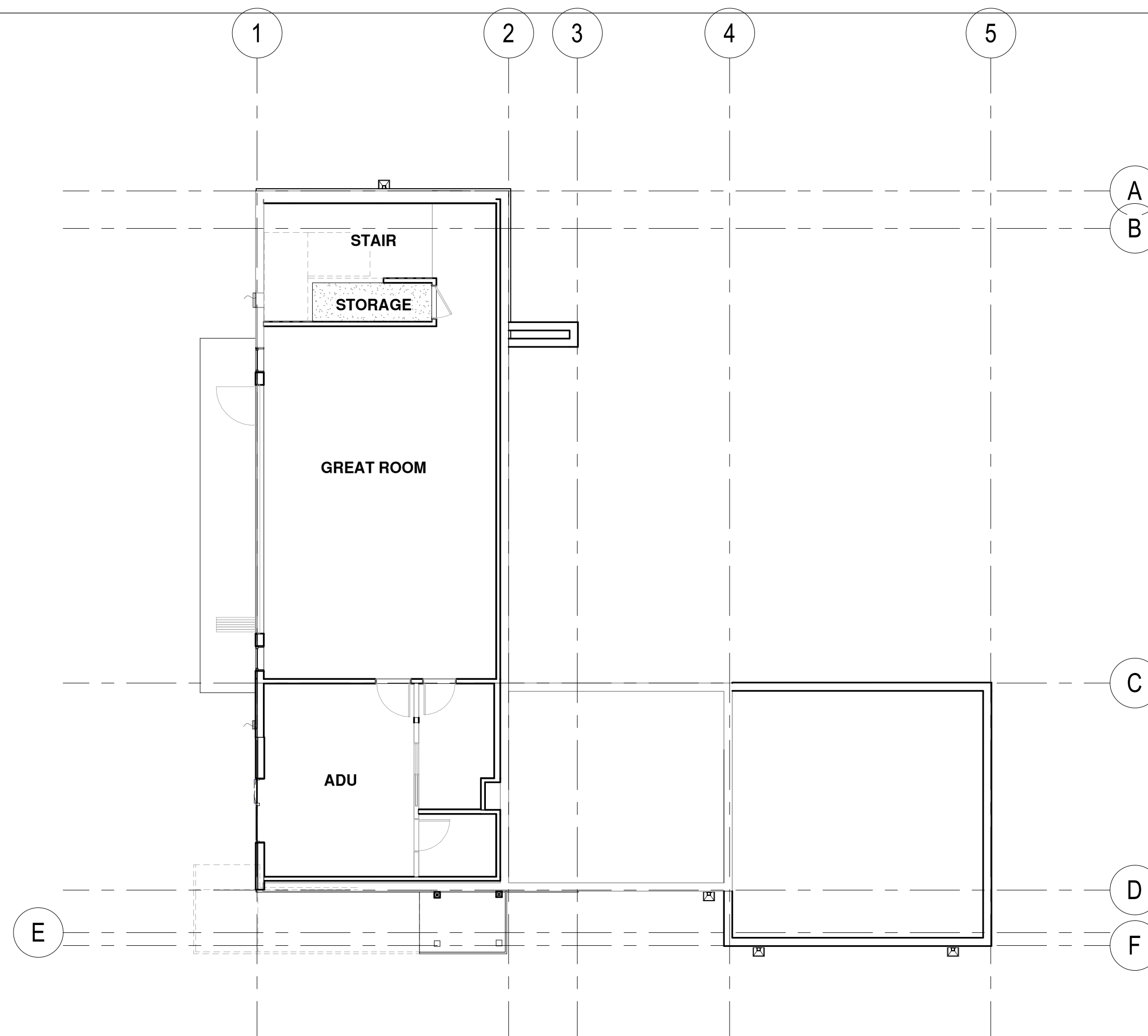
1 ROOF LEVEL
Scale: 1/4" = 1'-0"

1. ALL WINDOWS SHALL COMPLY W/ WSEC FRAMERS TO VERIFY R.O.
2. VENT ALL FANS AND DRYER EXHAUST TO OUTSIDE. PROVIDE 2x BLOCKING EACH SIDE OF FAN. HOLD BLOCKING 1/4" UP FROM GWB.
3. TOILET PAPER DISPENSERS TO BE MOUNTED @ 27" AFF. (TYP.)
4. ALL TOWEL BARS MOUNTED @ 42" AFF. UNO.
5. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL CONNECTIONS AND STIFFENERS HAVE BEEN INSTALLED.
6. WRITTEN DIMENSIONS ARE PRECEDENCE OVER SCALED DIMS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
7. FIREBLOCK IN ACCORDANCE W/ 2015 IRC R302.11
8. LIMIT SHOWER FLOW TO 2.5 GPM
9. SHOWER WALLS SHALL BE WATERPROOF TO A MIN. 72" AFF
10. ALL BATHROOM GLAZING INCLUDING WINDOWS WITHIN 60" OF A STANDING OR WALKING SURFACE SHALL HAVE SAFETY GLAZING. COORDINATE BLOCKING REQUIRED FOR TOWEL BARS AND HANDRAILS WITH OWNER AND INTERIOR DESIGNER.
11. THE RAILING AND CONNECTION DESIGN WILL BE FORMALLY SUBMITTED TO THE CITY FOR REVIEW AFTER ACCEPTANCE BY THE EOR.

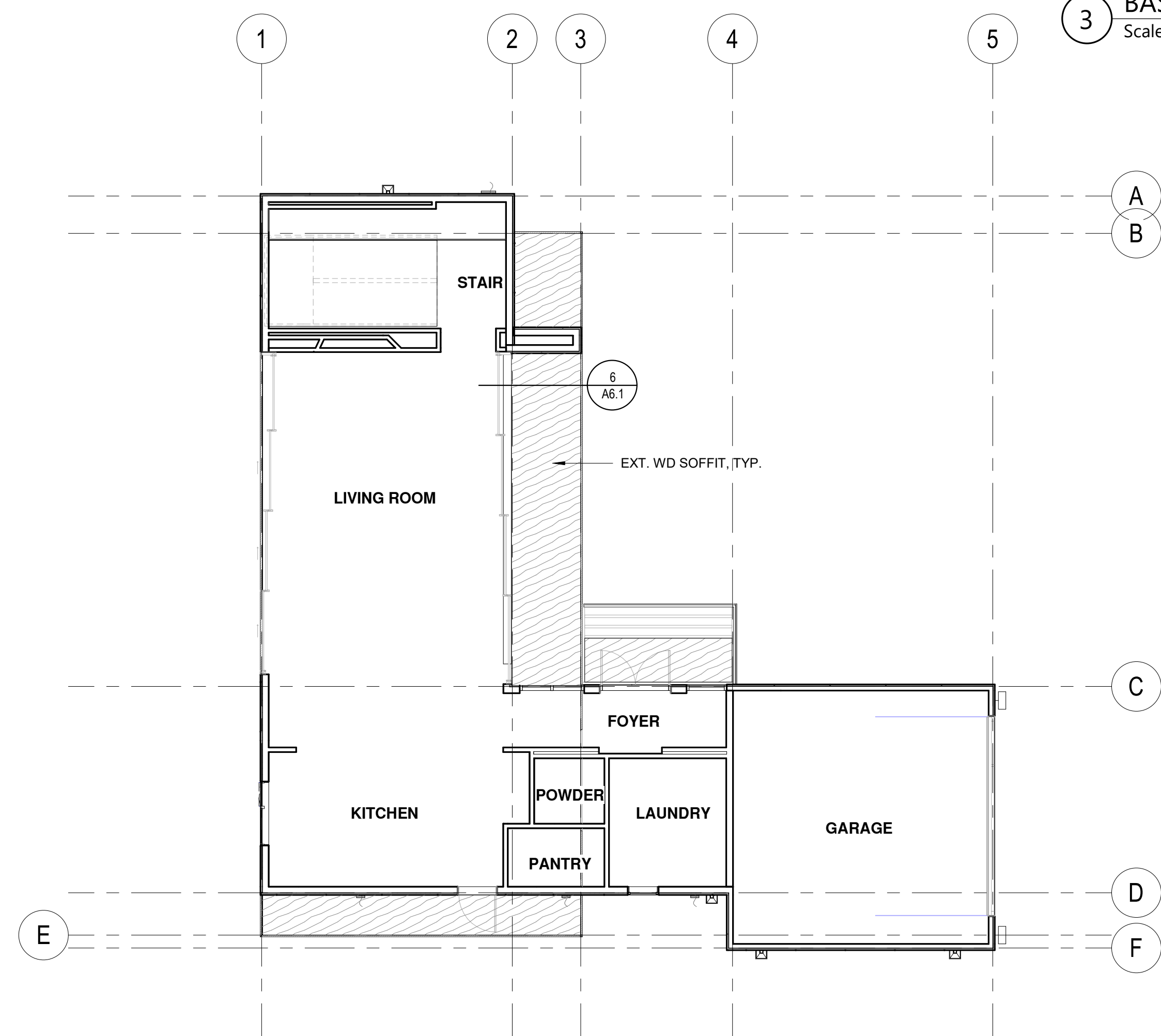
LEGEND

- DENOTES SUPPLY AIR GRILLE AT FLOOR
- 110V SMOKE DETECTOR W/ BATTERY BACKED AND W/ INTERCONNECTED PER 2015 IRC R314
- CARBON MONOXIDE ALARM AND SMOKE DETECTOR
- EXHAUST FAN - BATH & TOILET ROOMS MIN 50CFM KITCHEN EXHAUST 100CFM
- HEAT RECOVERY VENTILATION SYSTEM - SUPPLY
- HEAT RECOVERY VENTILATION SYSTEM - RETURN
- NEW 18"x24" CRAWL SPACE ACCESS W/ WEATHER STRIPPING
- EGRESS WINDOW
- TEMPERED GLASS

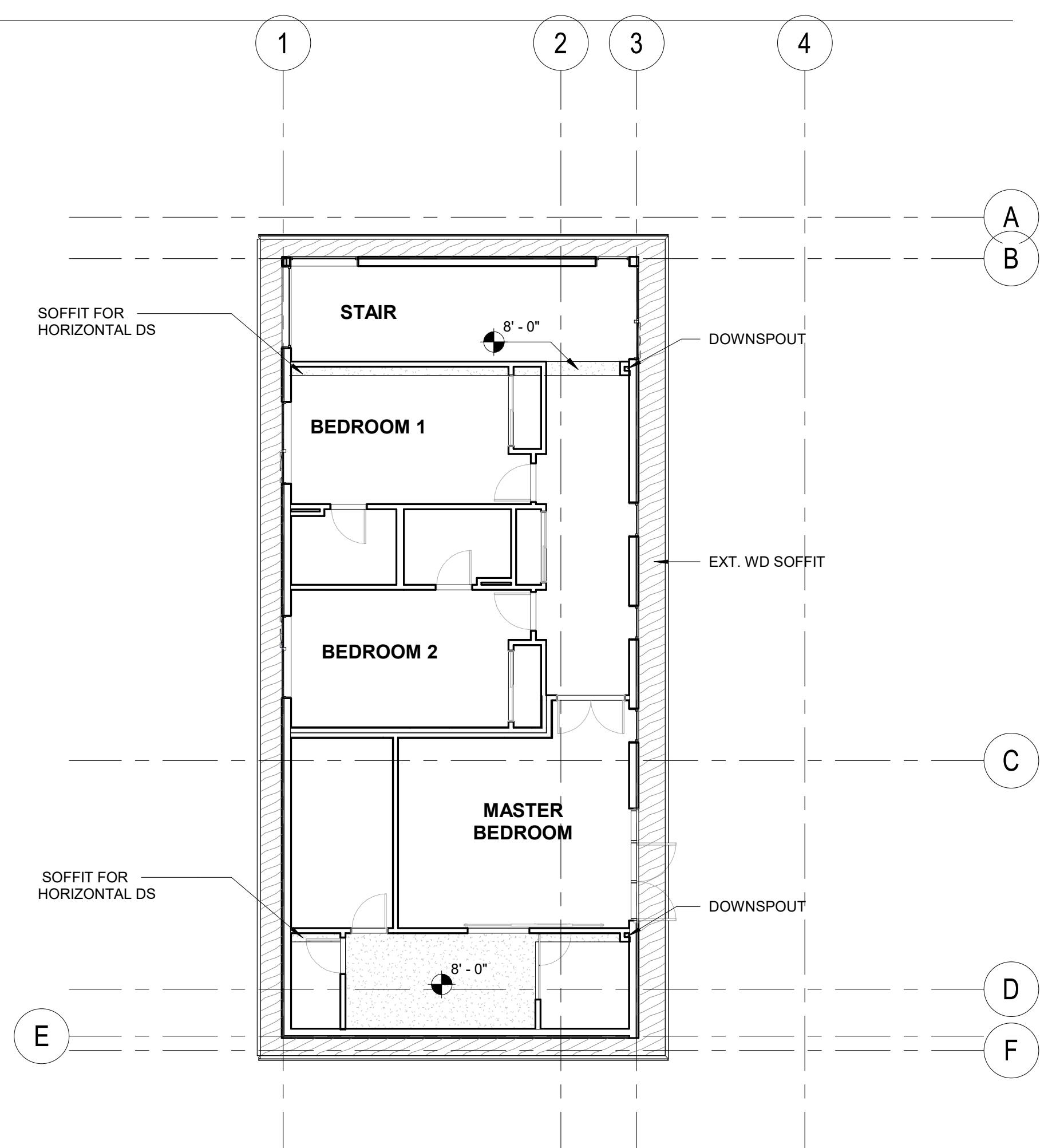
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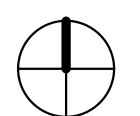
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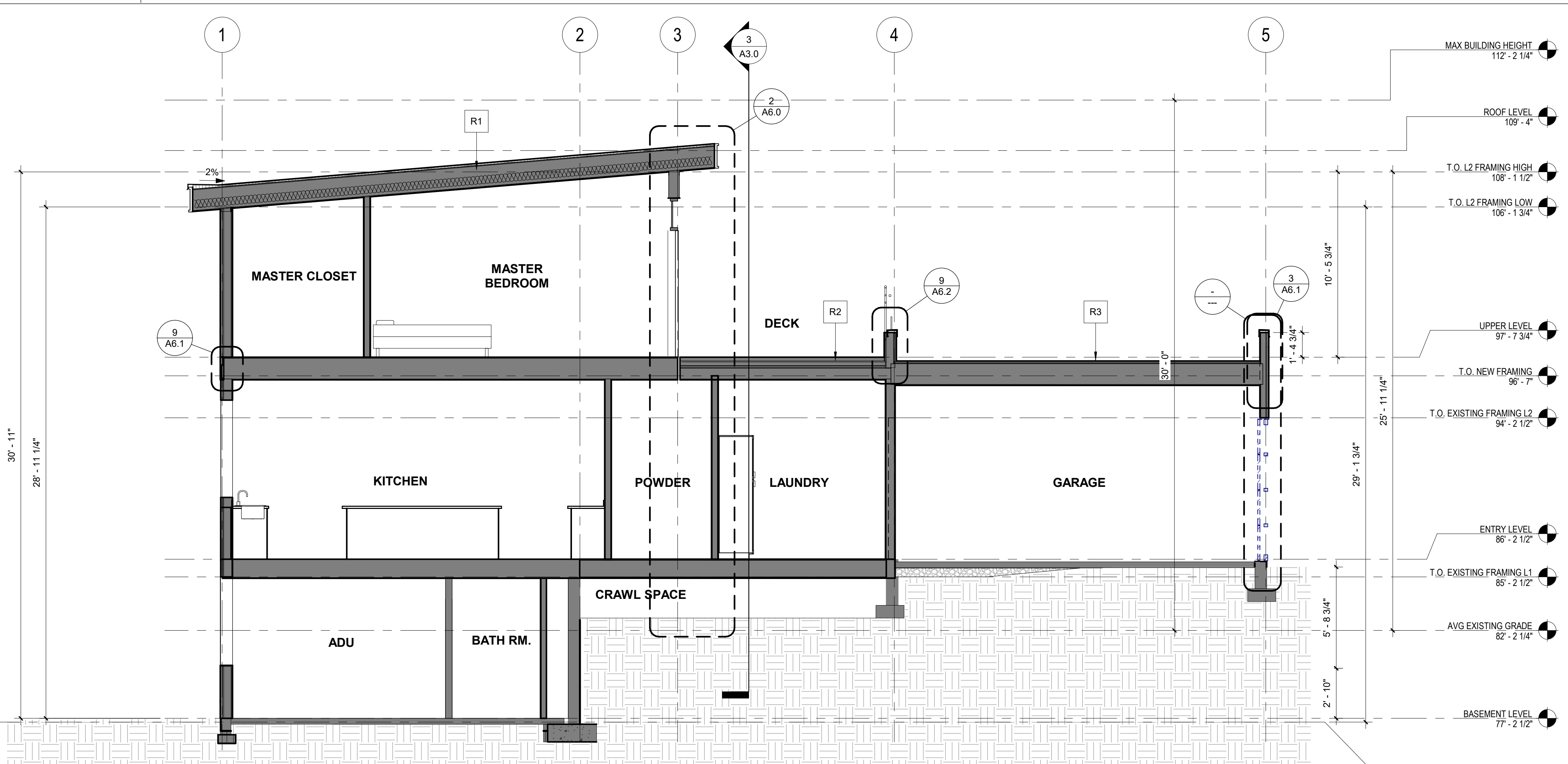
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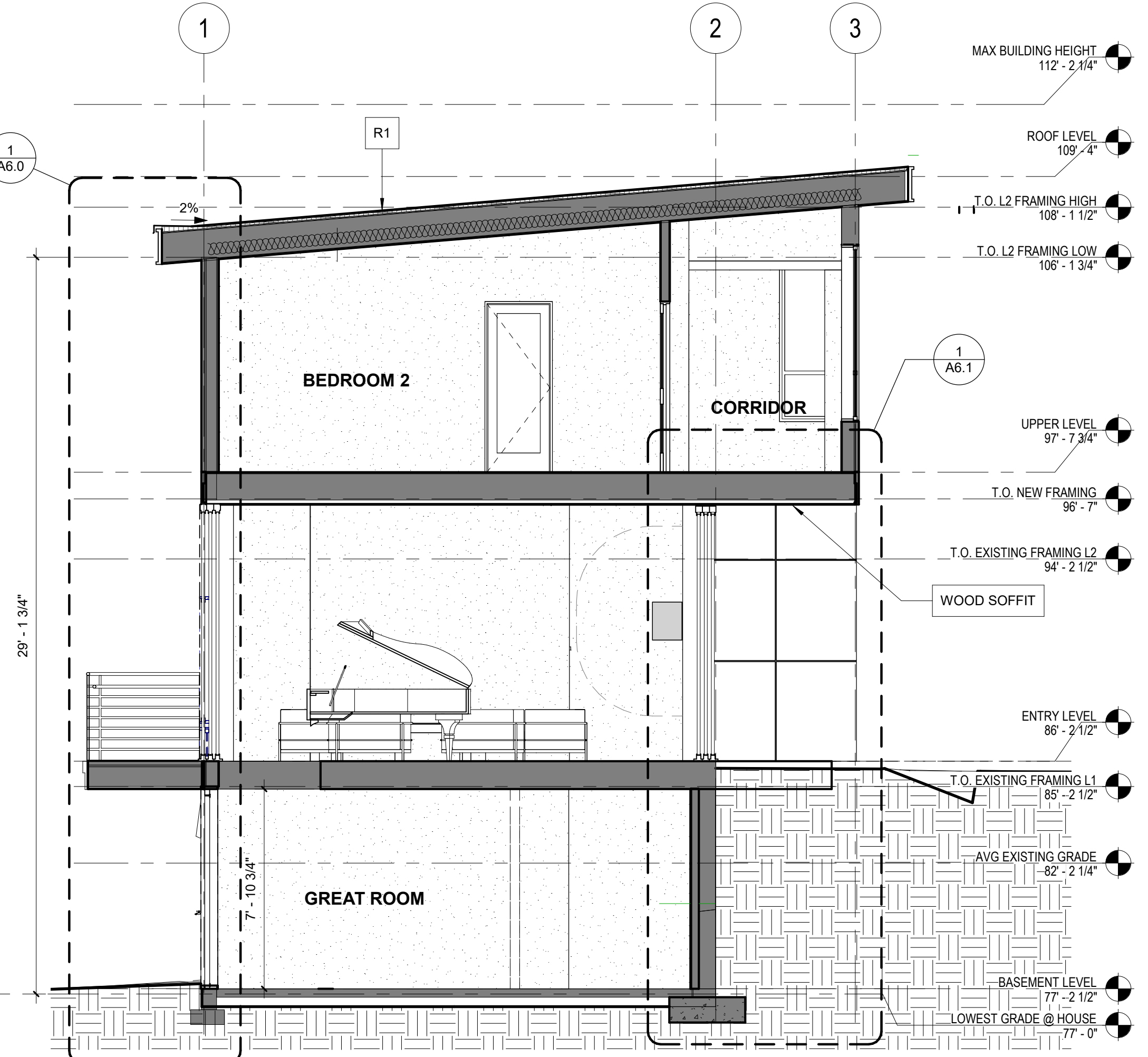
1 UPPER LEVEL
Scale: 1/8" = 1'-0"

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ADDRESS 2215 80th Ave SE Mercer Island, WA 98040								
CLIENT Timothy & Elen Paek								
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DRAWN Author	DESIGNED Designer							
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DRAWING NO. A2.51	REVISION NO. 1							

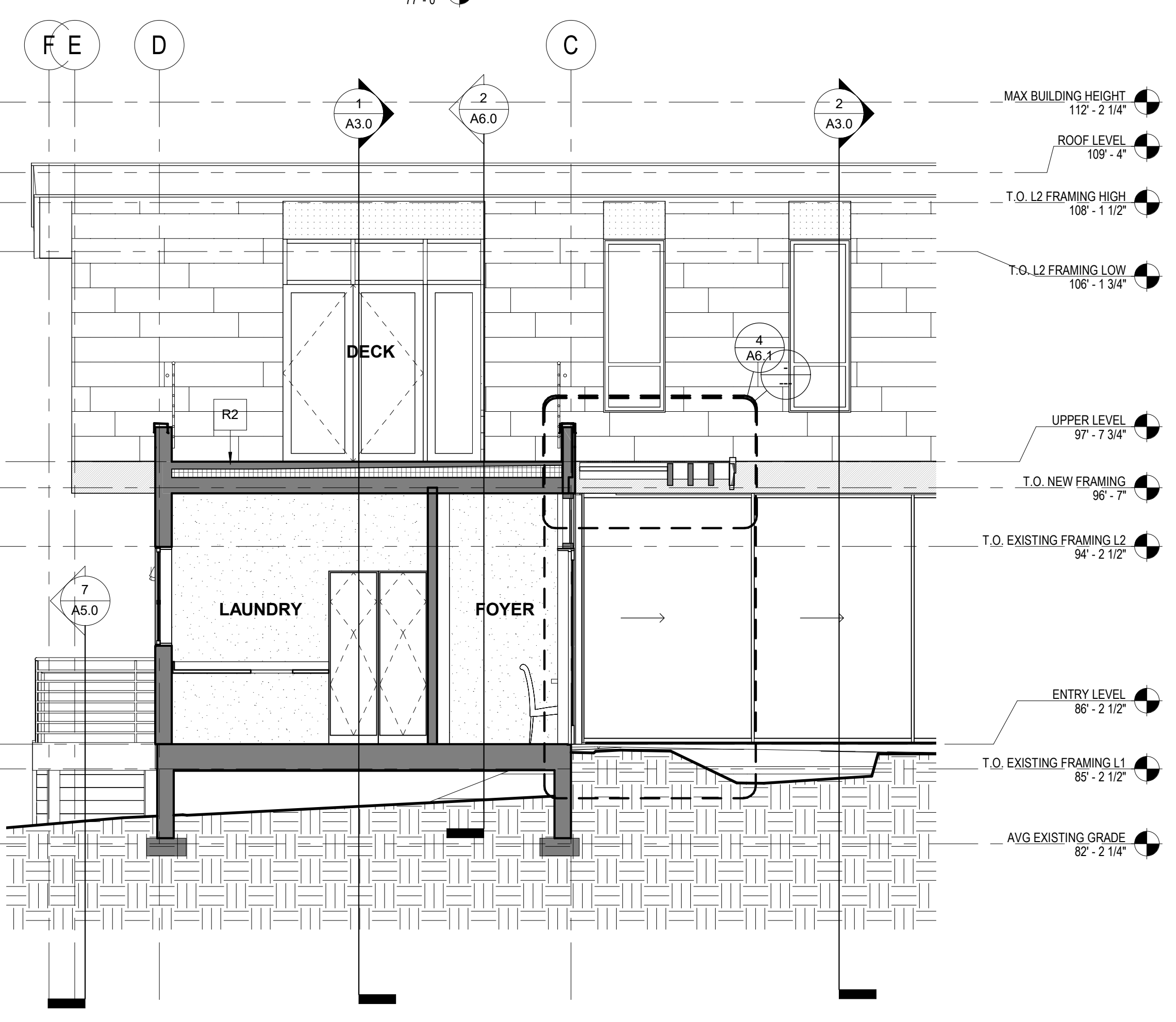
24"x36" Arch D - SHEET SIZE




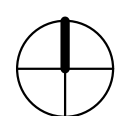
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2 Section B-B
Scale: 1/4" = 1'-0"

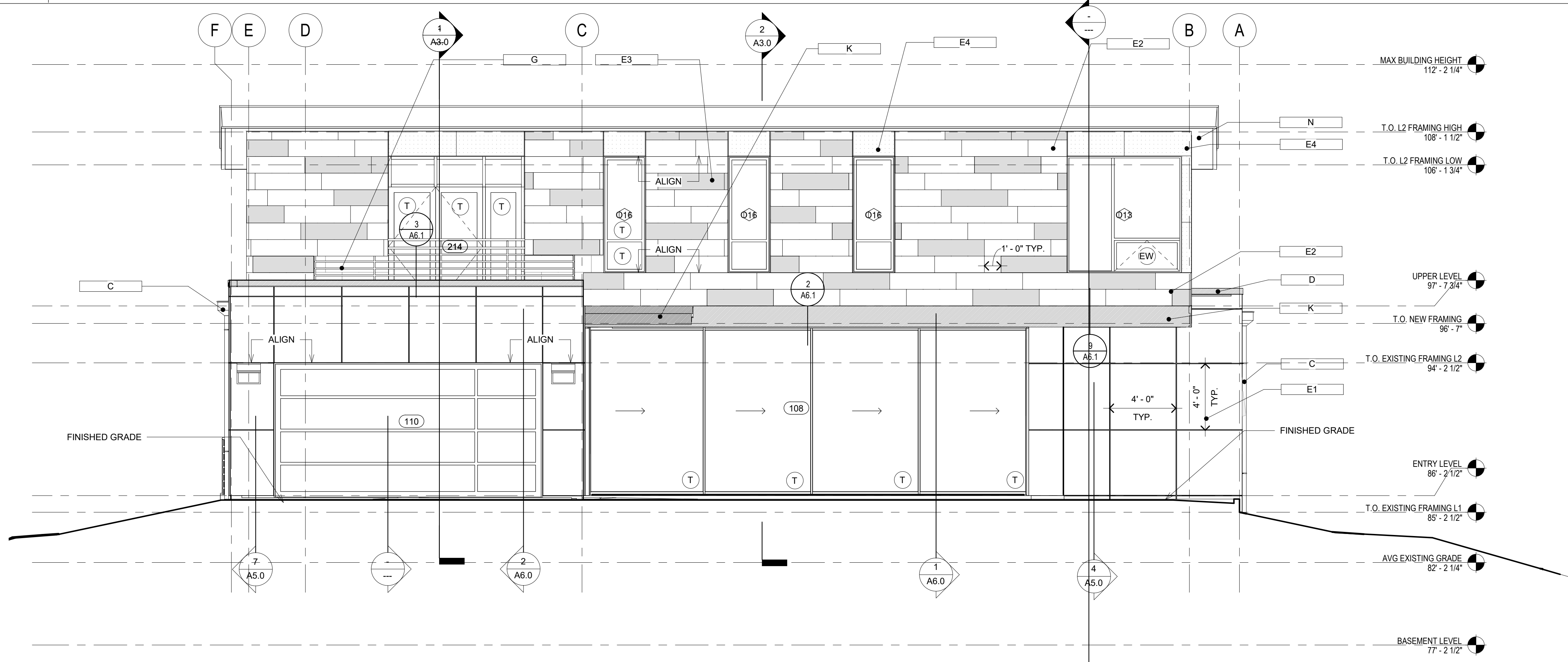


3 Building Section C-C
Scale: 1/4" = 1'-0"

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DRAWN Author	DESIGNED Designer										
DATE 08/16/19											
GRAPHIC SCALE 1/4" = 1'-0"											
PROJECT NO. 18-009											
DRAWING NO. A3.0	REVISION NO.										

FILE NAME:
PLOT TIME:
DATE:

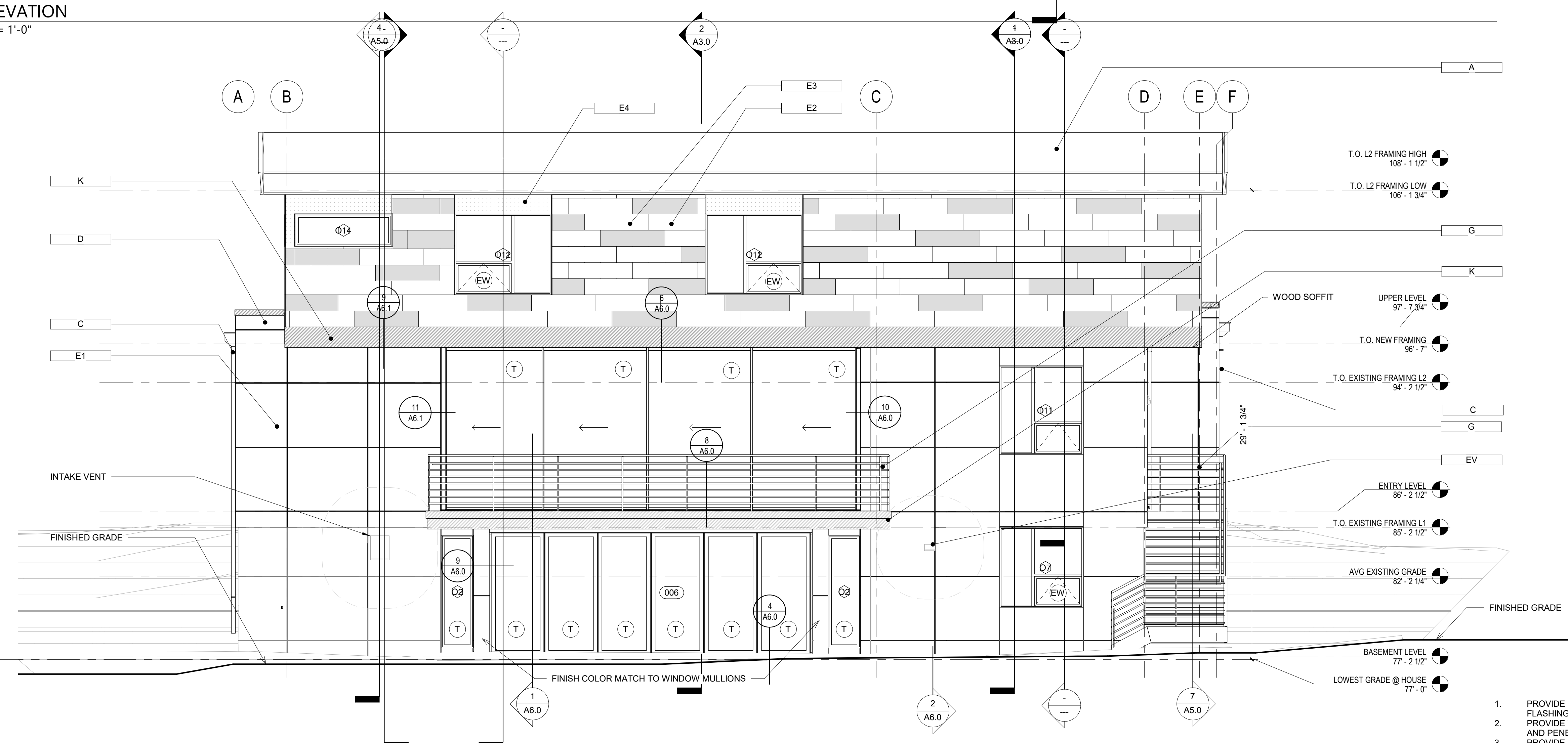
24"x36" Arch D - SHEET SIZE



KEYNOTES


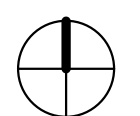
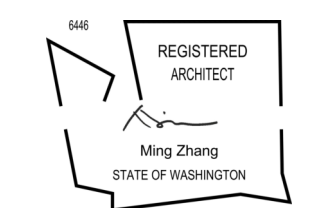
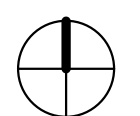
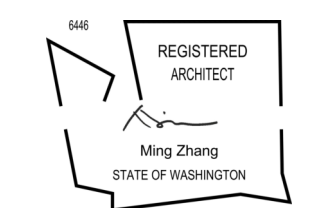
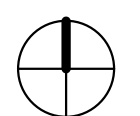
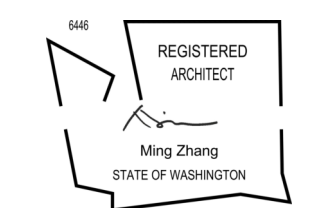
- (A) 80 mil FLEECE BACKED PVC MEMBRANE
ROOF
BASIS OF DESIGN: IB ROOF SYSTEMS
COLOR: Quartz Grey
- (B) HIGH ROOF FASCIA
COLOR: Quartz Grey
- (C) ALUMINUM GUTTER/DOWNSPOUT
COLOR: Quartz Grey
- (D) METAL COPING OVER WOOD TRIM
COLOR: Quartz Grey
- (E1) TRESPA METEON PANEL SIDING
4'X4' PANEL SIZE
COLOR: Quartz Grey
- (E2) TRESPA METEON PANEL SIDING
1'X4' PANEL SIZE
COLOR: White
- (E3) TRESPA METEON PANEL SIDING
1'X4' PANEL SIZE
COLOR: Silver Grey
- (E4) TRESPA METEON PANEL SIDING
4'X4' PANEL SIZE
COLOR: White
- (F) CONCRETE WALL
COLOR: White
- (G) METAL RAILING
COLOR: Quartz Grey
- (K) WOOD TRIM
COLOR: Mystic Cedar
- (N) WOOD SOFFIT
COLOR: Romantic Walnut
- (T) TEMPERED GLASS
- (EW) EGRESS WINDOW
- (EV) EXHAUST VENT

1 EAST ELEVATION
Scale: 1/4" = 1'-0"



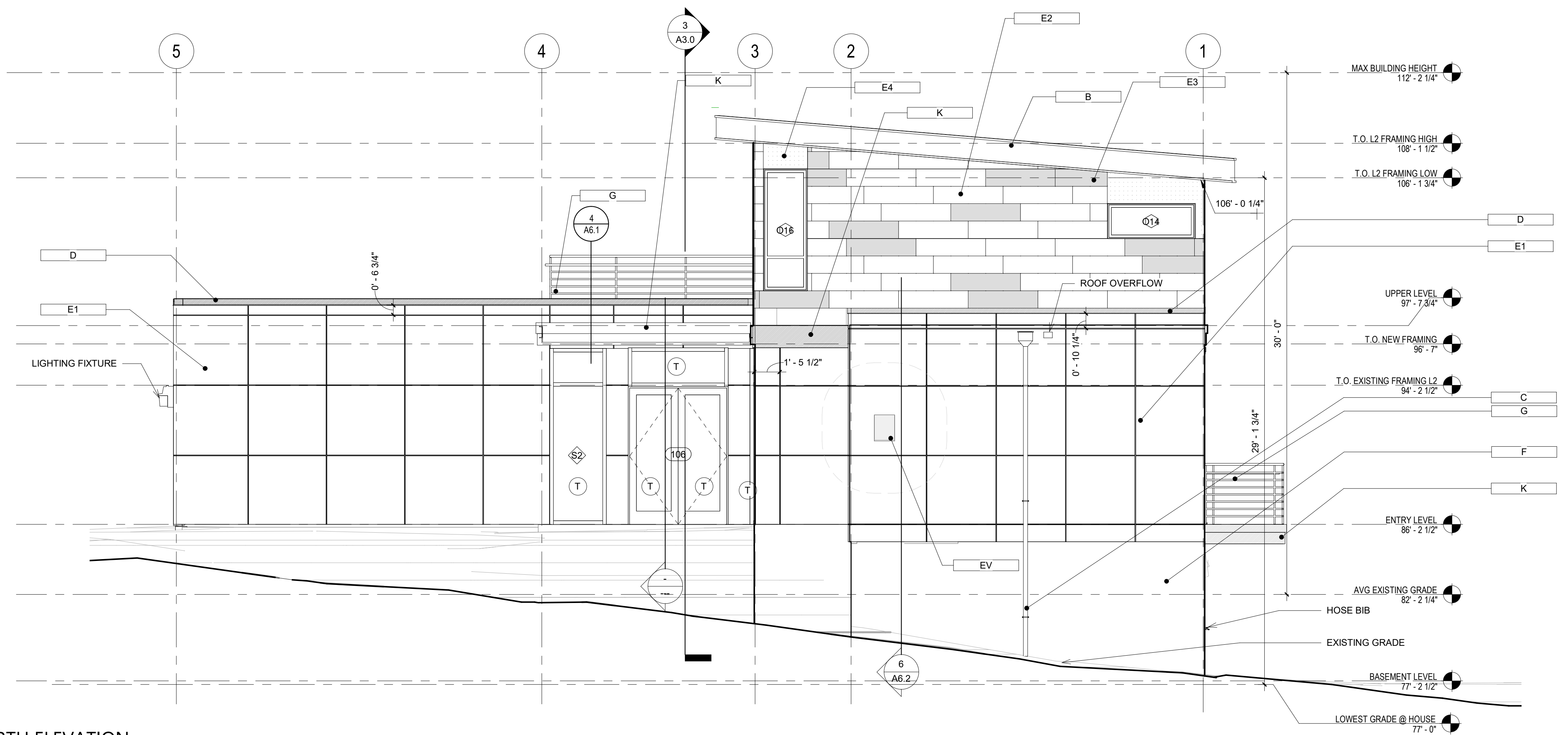
2 WEST ELEVATION
Scale: 1/4" = 1'-0"

1. PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTER FLASHING AT ALL ROOF PENETRATIONS.
2. PROVIDE WEATHER STRIPPING AT ALL DOORS. CAULK ALL JOINTS AND PENETRATIONS IN EXTERIOR WALLS.
3. PROVIDE BUILDING IDENTIFICATION ADDRESS NUMBERS THAT ARE PLAINLY VISIBLE FROM THE STREET OR ROAD COMPLIANT WITH 2015 IRC SECTION R319.1

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DRAWING NO. A4.0	REVISION NO.										

FILE NAME:
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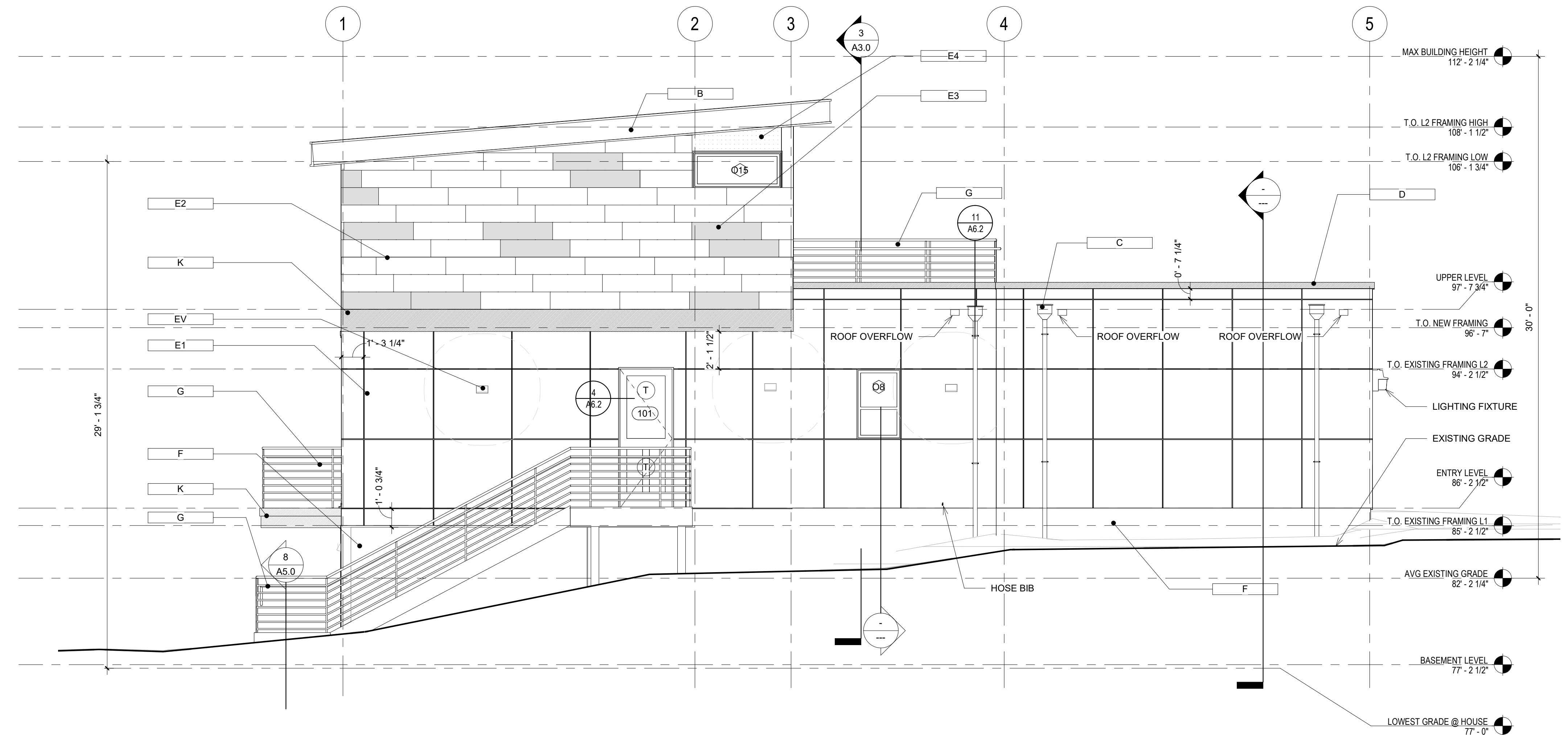
24"x36" Arch D - SHEET SIZE



KEYNOTES

- (A) 80 mil FLEECE BACKED PVC MEMBRANE ROOF
BASIS OF DESIGN: IB ROOF SYSTEMS
COLOR: Quartz Grey
- (B) HIGH ROOF FASCIA
COLOR: Quartz Grey
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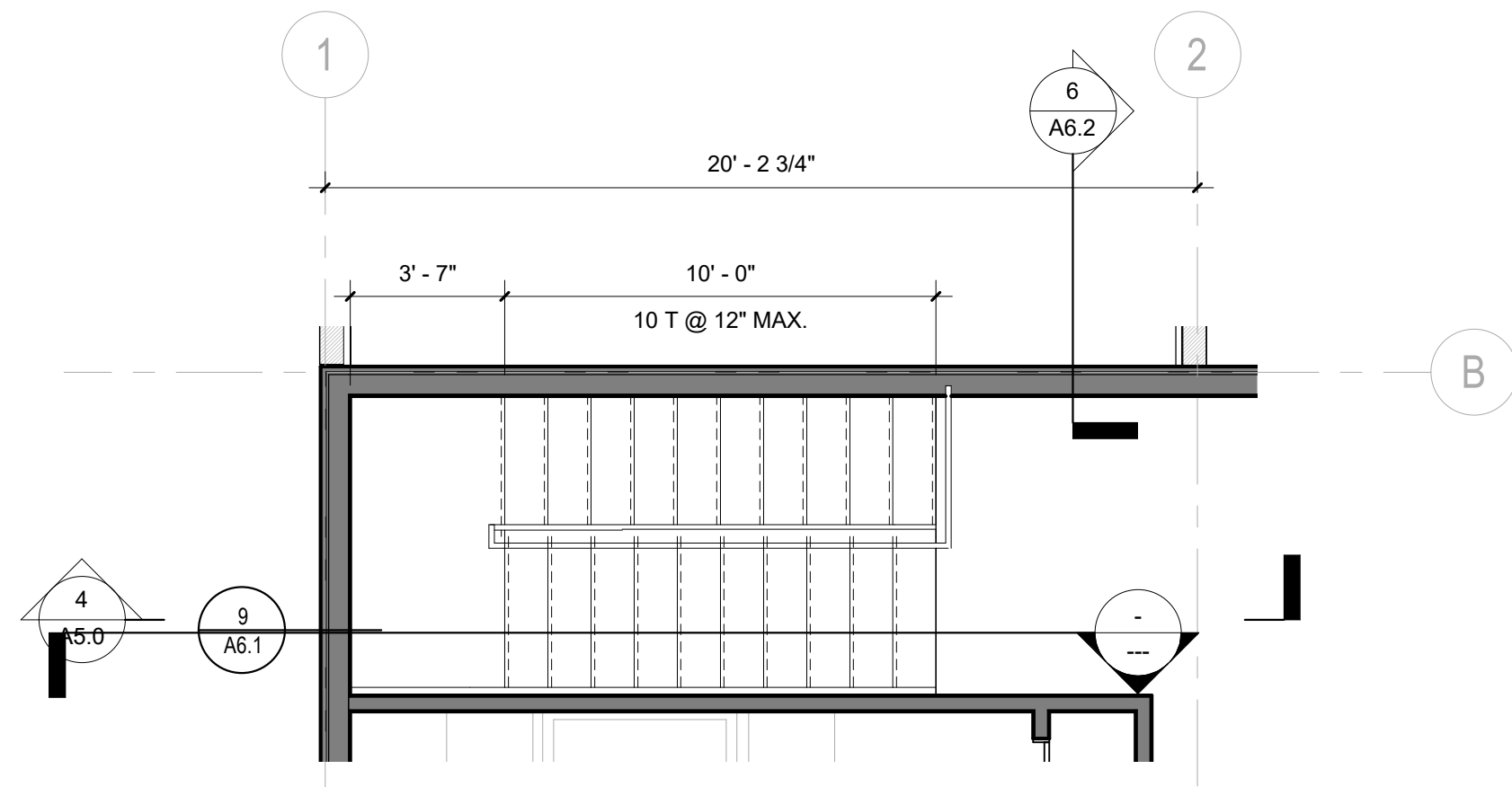
1 NORTH ELEVATION
Scale: 1/4" = 1'-0"



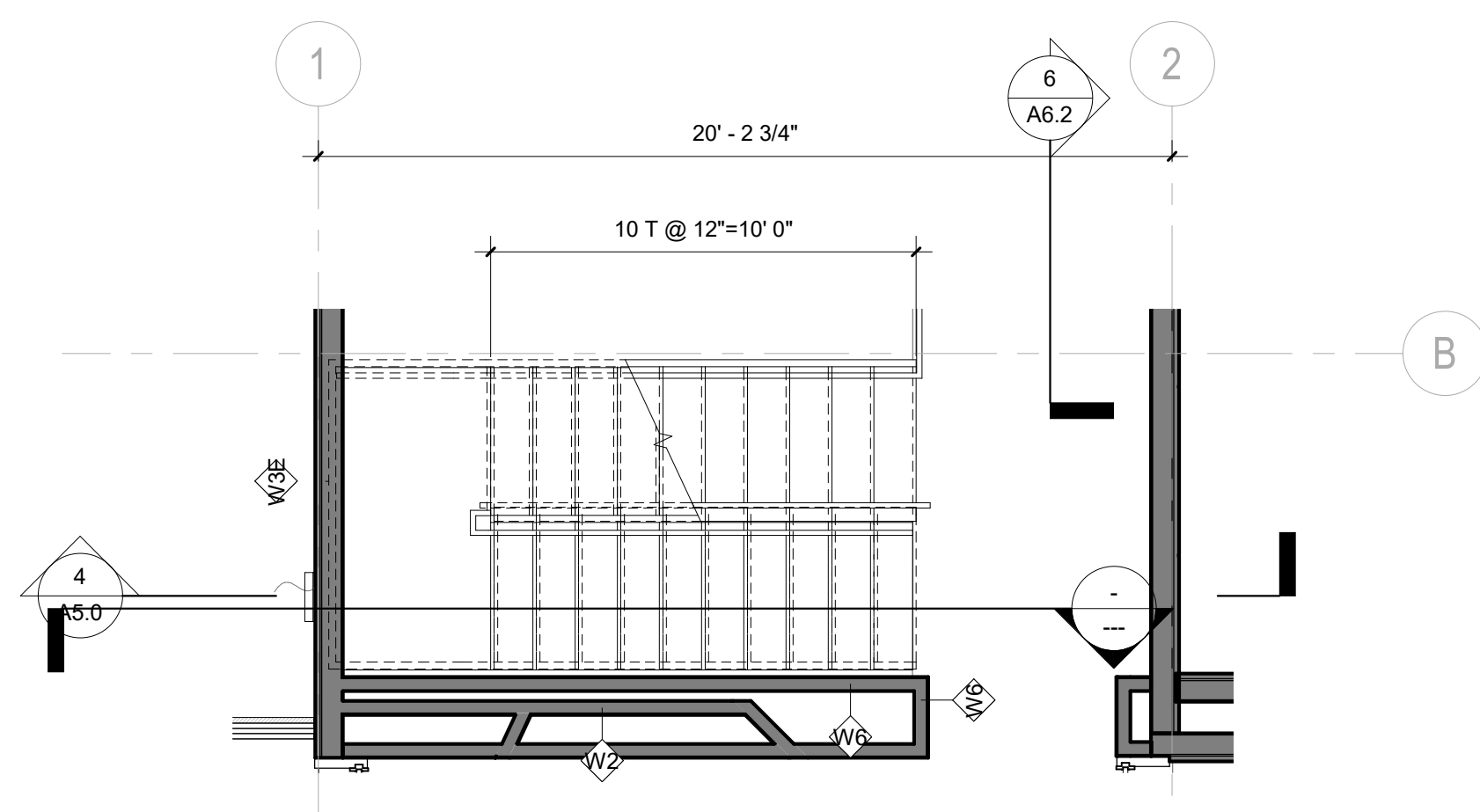
2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

1. PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTER FLASHING AT ALL ROOF PENETRATIONS
2. PROVIDE WEATHER STRIPPING AT ALL DOORS. CAULK ALL JOINTS AND PENETRATIONS IN EXTERIOR WALLS.
3. PROVIDE BUILDING IDENTIFICATION ADDRESS NUMBERS THAT ARE PLAINLY VISIBLE FROM THE STREET OR ROAD COMPLIANT WITH 2015 IRC SECTION R319.1

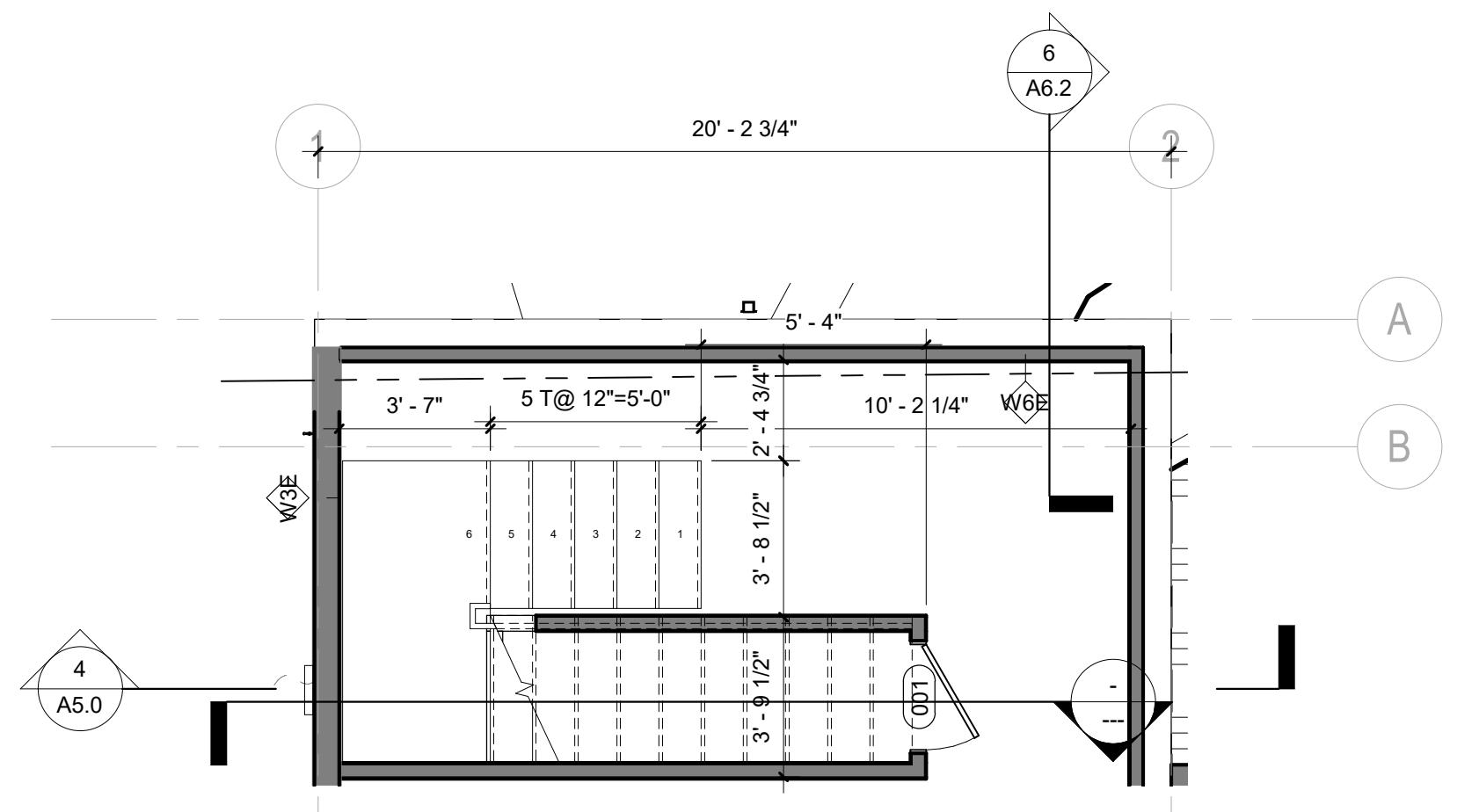
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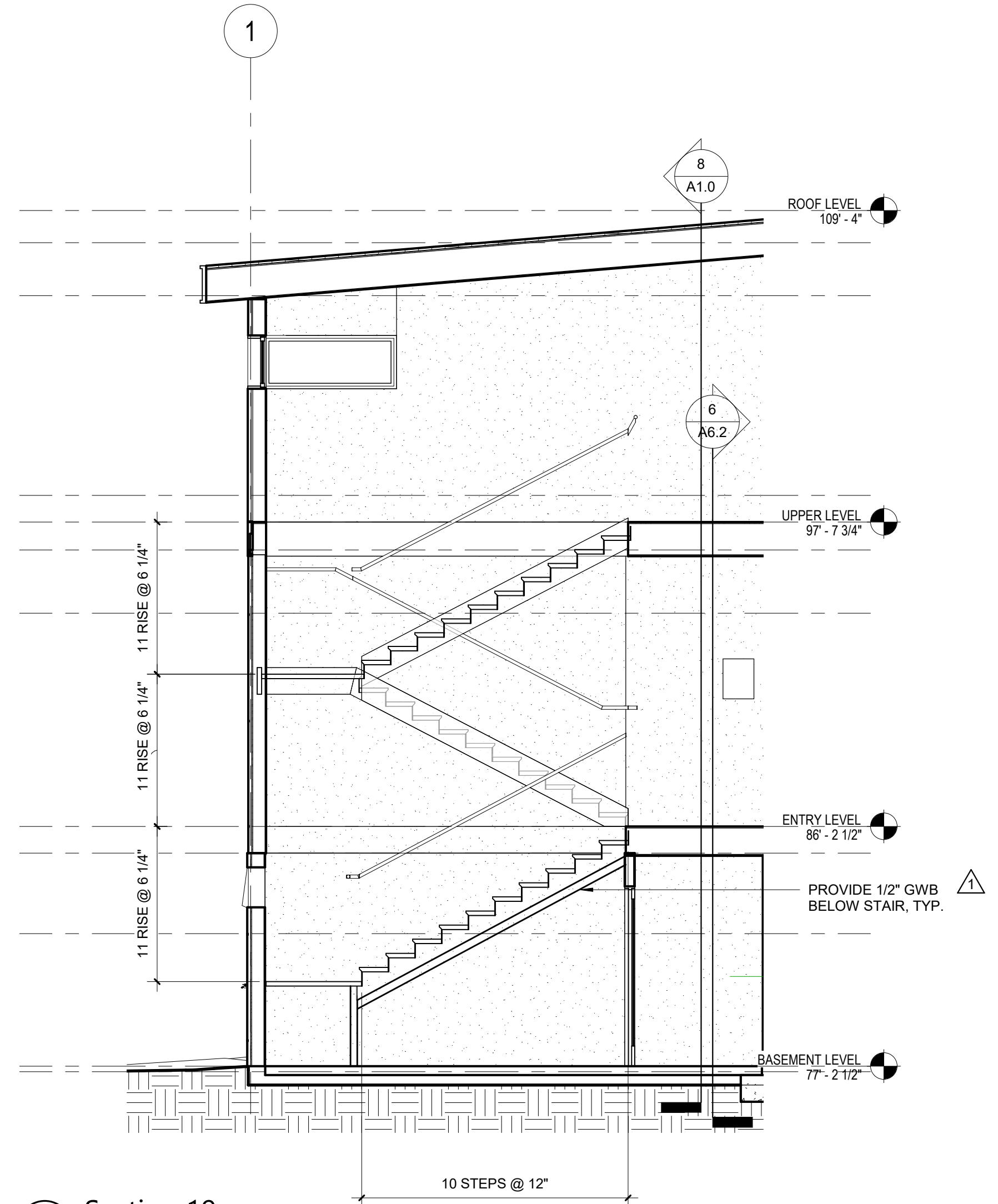
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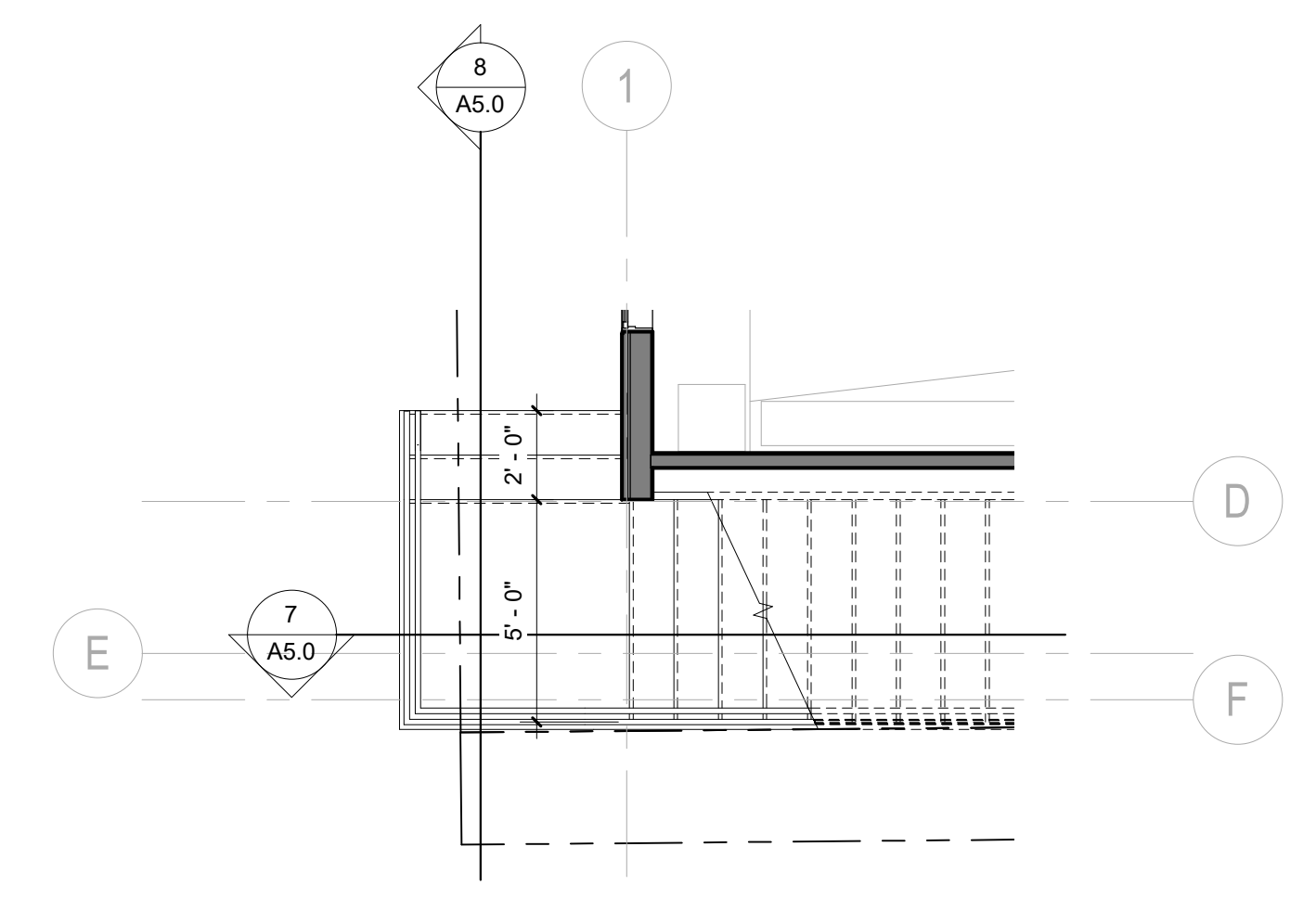
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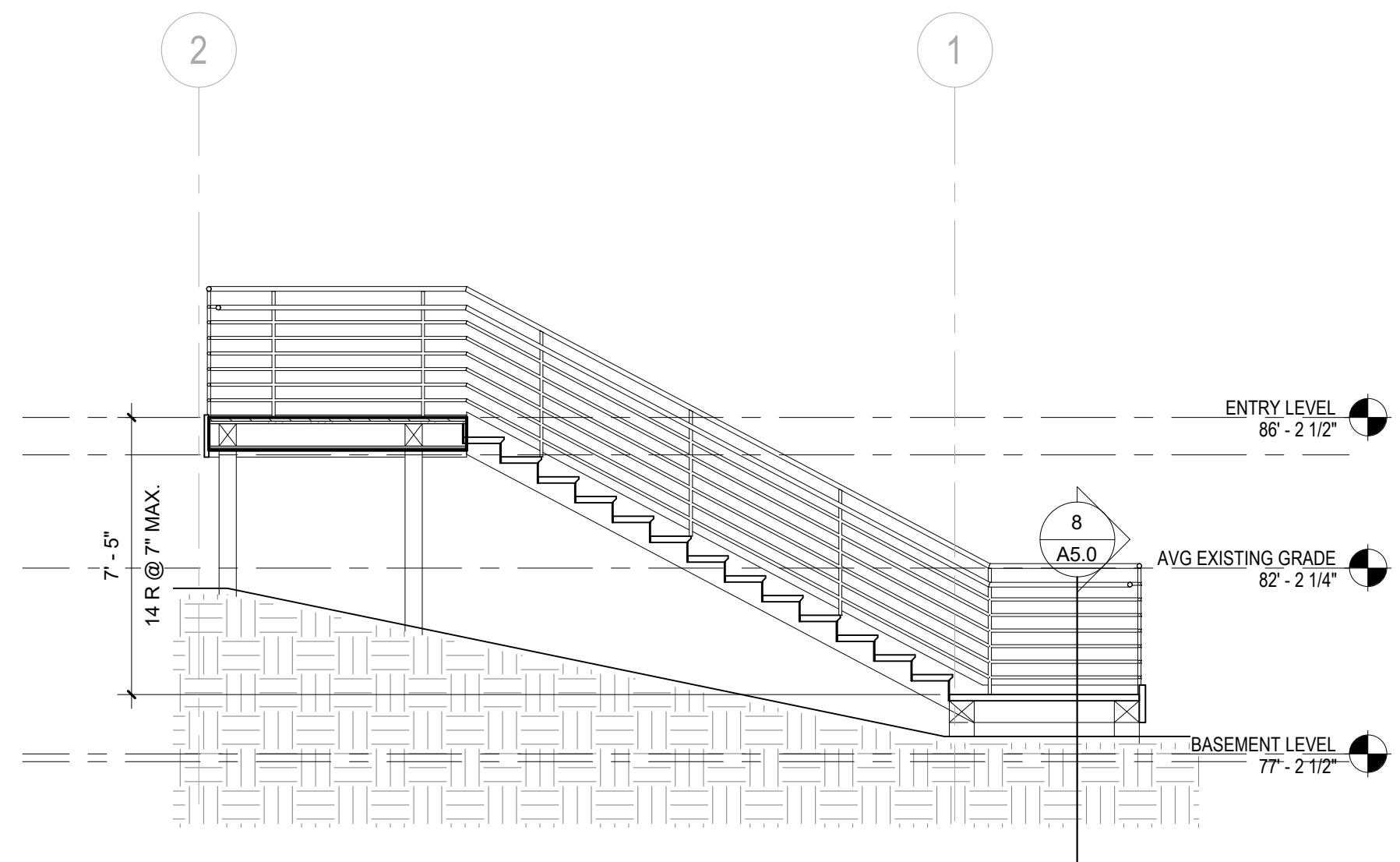
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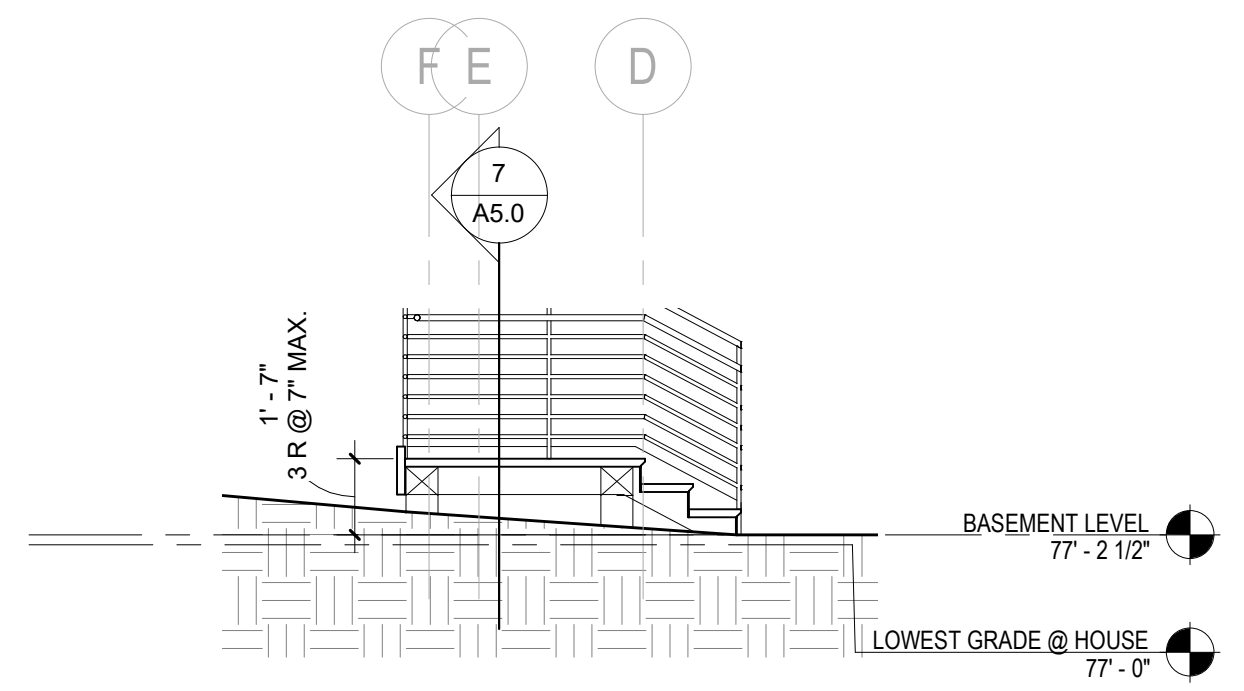
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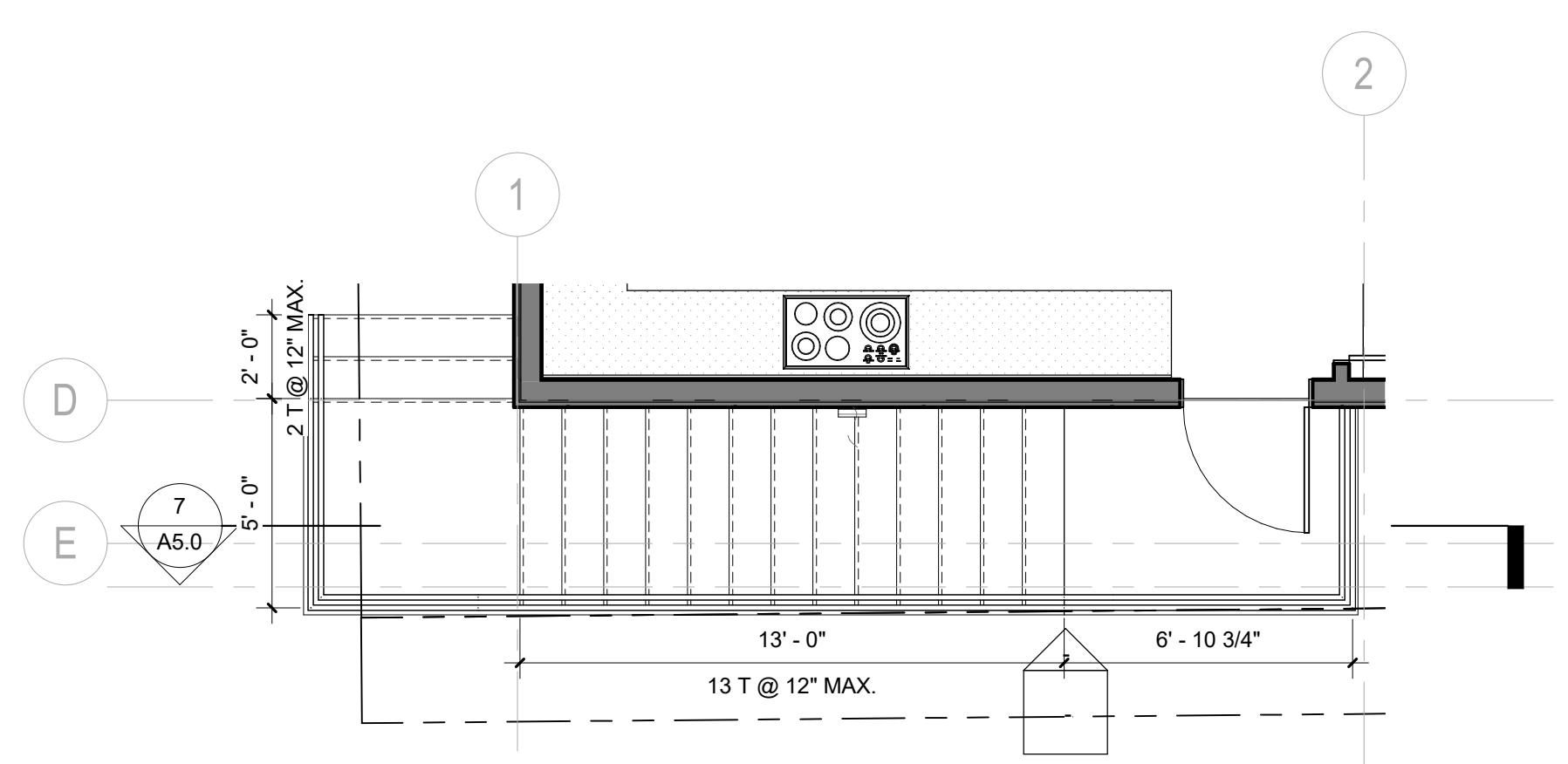
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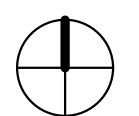
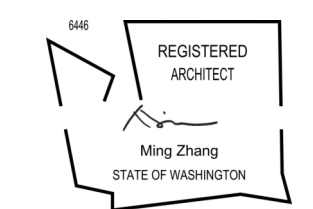
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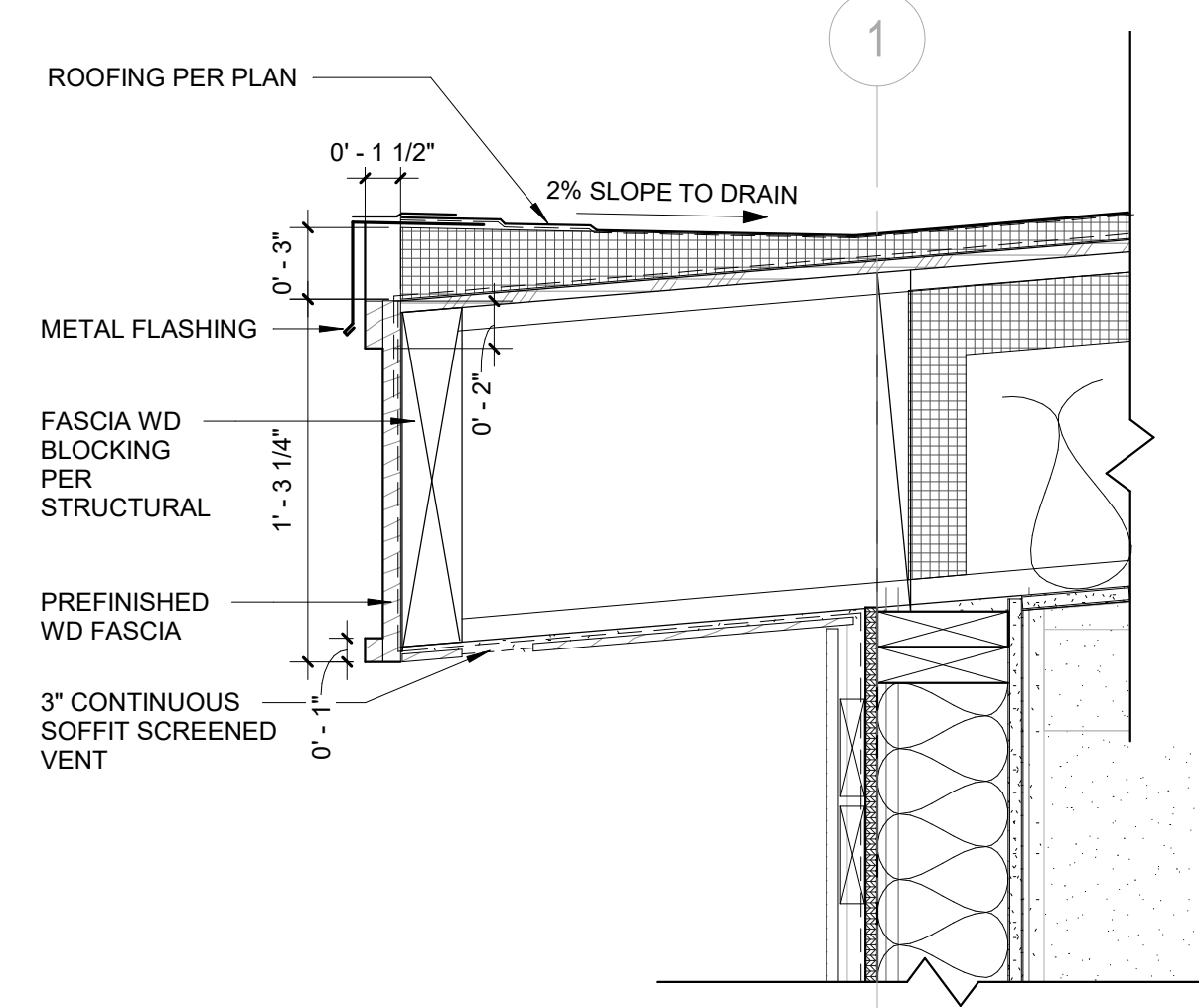
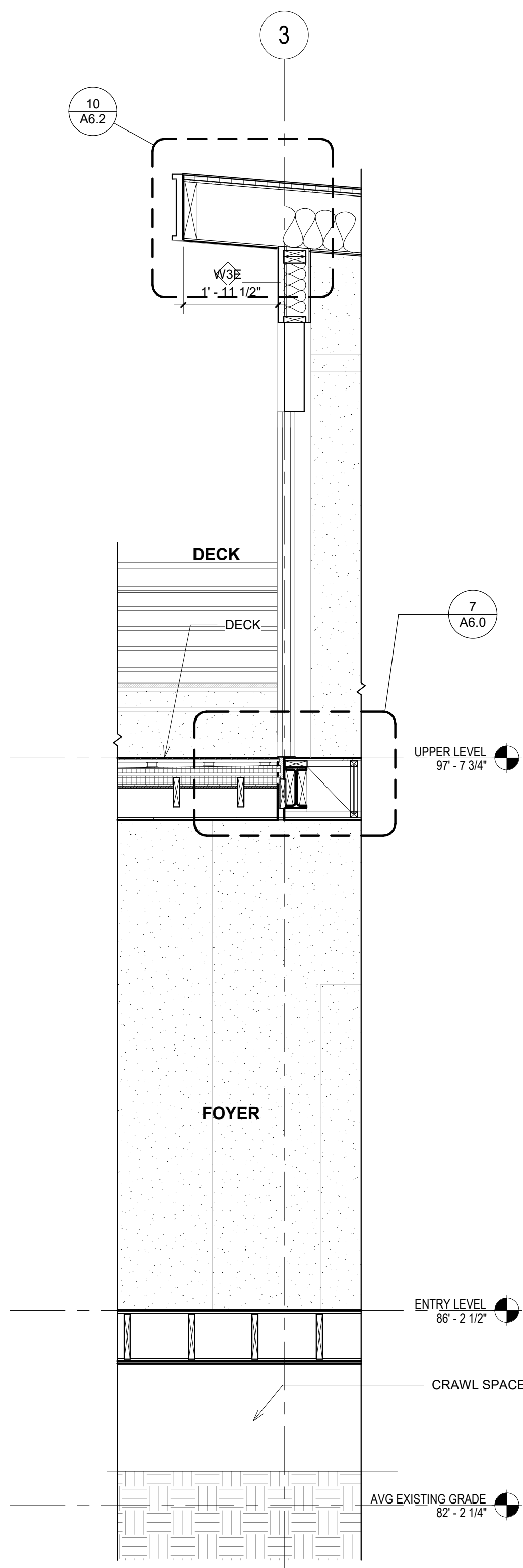
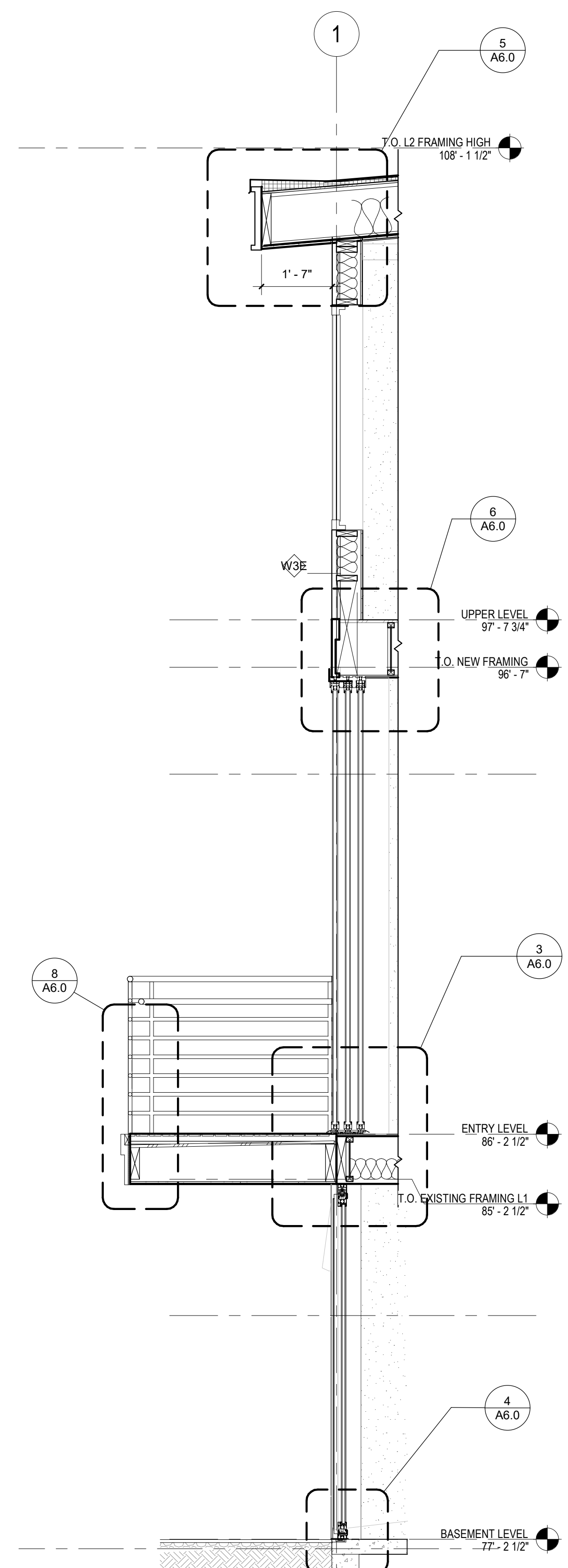
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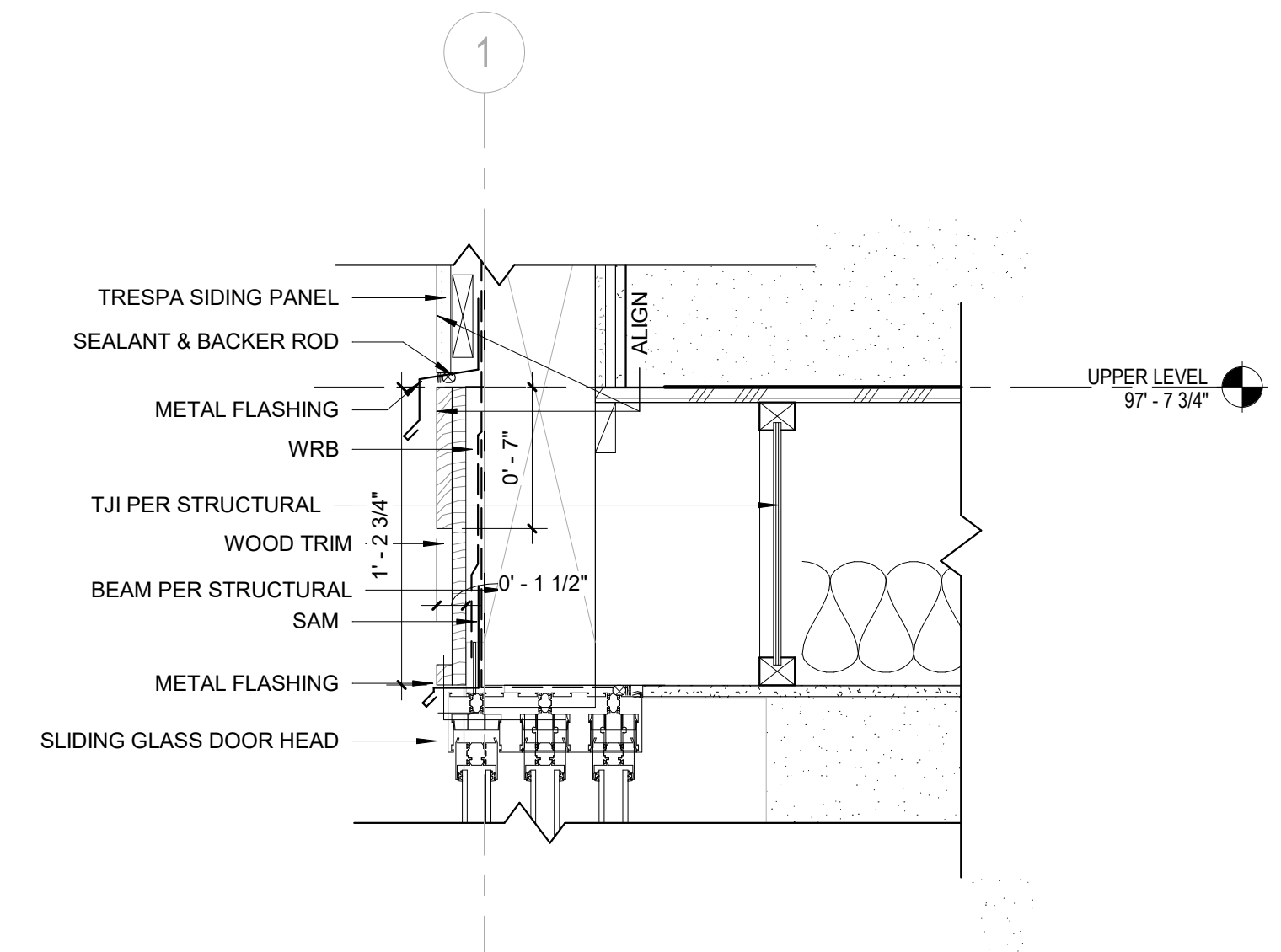
6 ENTRY LEVEL - STAIR 2
Scale: 1/4" = 1'-0"

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DRAWN Author	DESIGNED Designer							
DATE 08/16/19								
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PROJECT NO. 18-009								
DRAWING NO. A5.0	REVISION NO. 1							

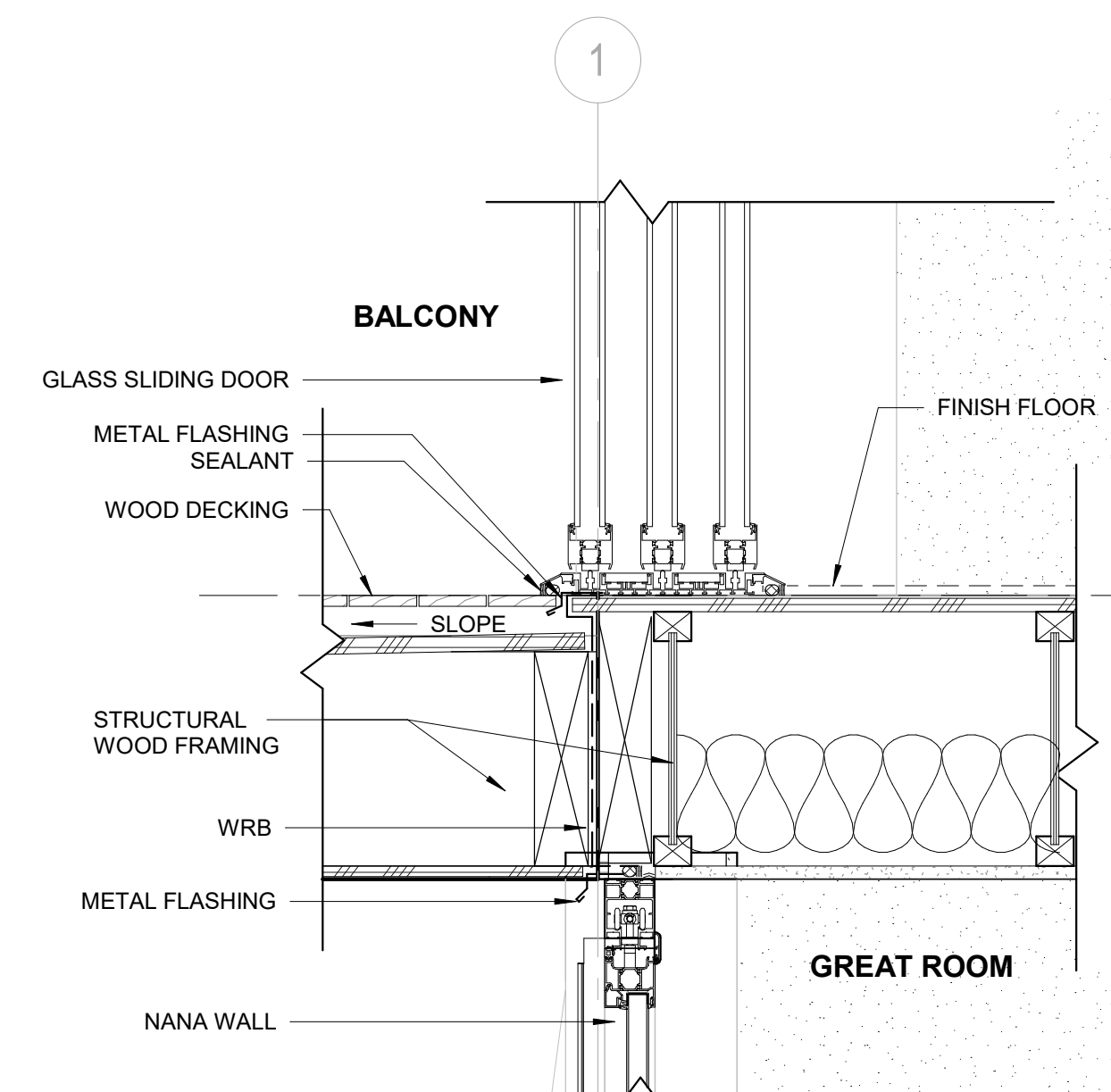
24"x36" Arch D - SHEET SIZE



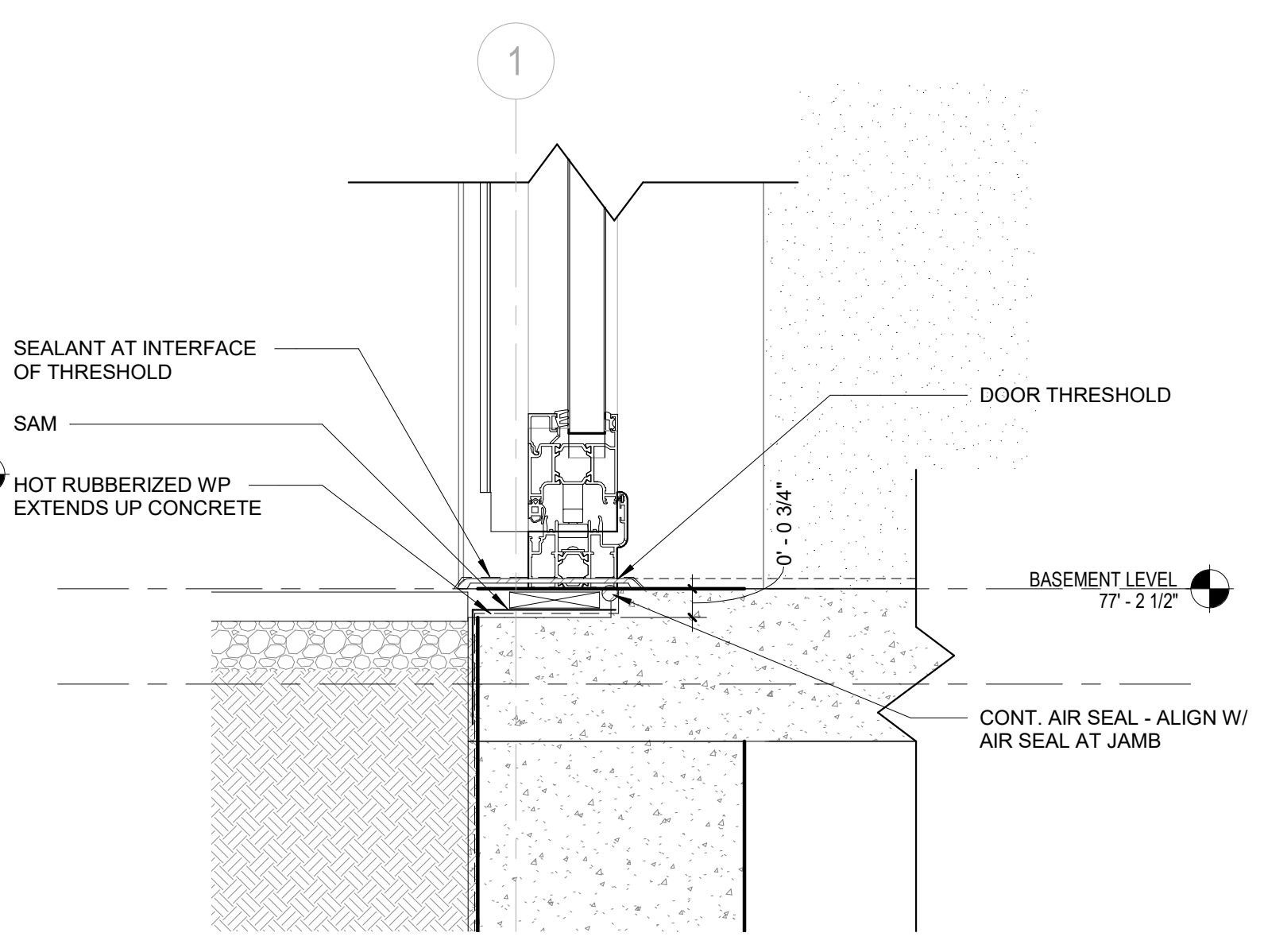
5 ROOF OVERHANG
Scale: 1 1/2" = 1'-0"



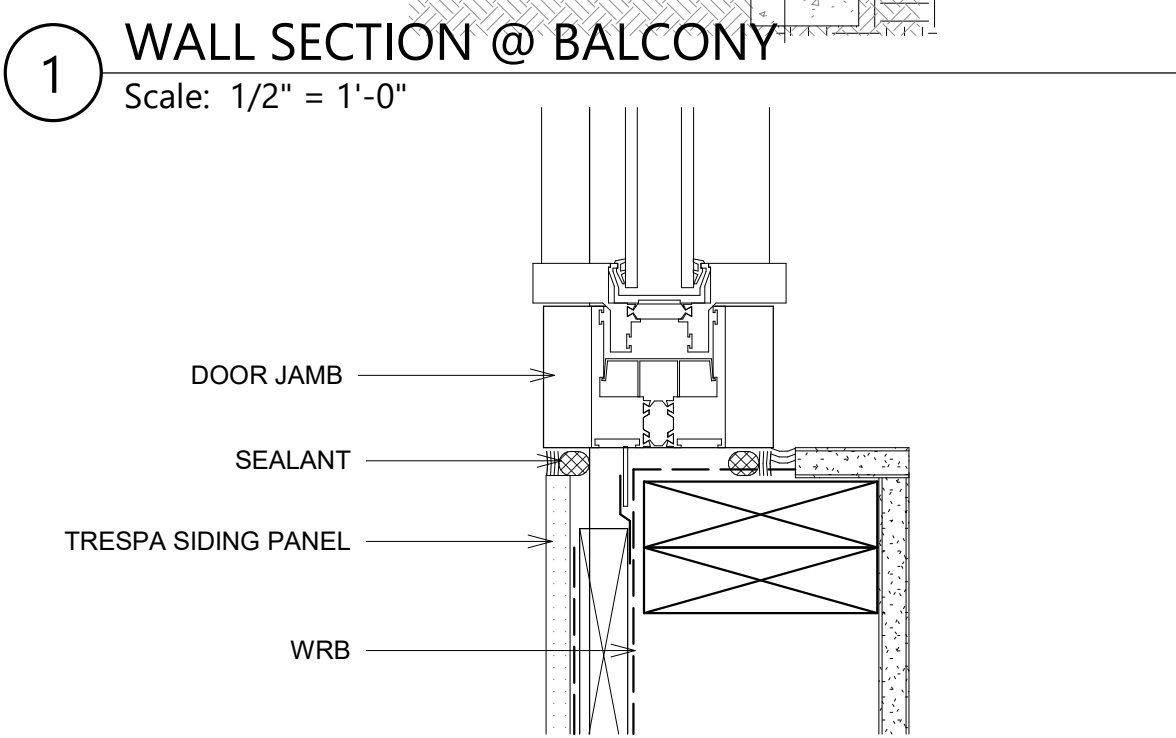
6 DOOR HEAD @ ENTRY LEVEL
Scale: 1 1/2" = 1'-0"



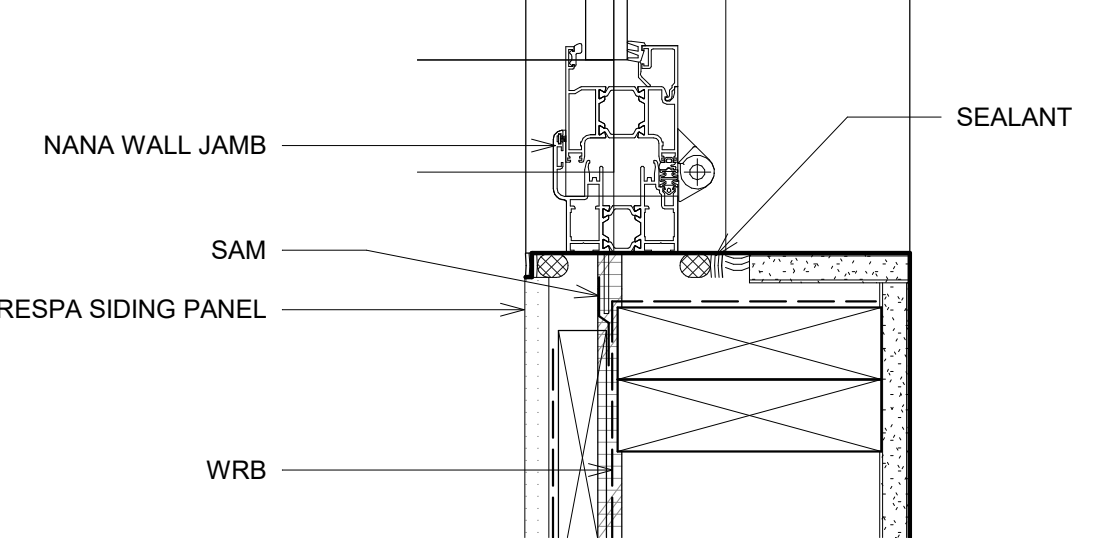
3 BALCONY & DOOR SILL
Scale: 1 1/2" = 1'-0"



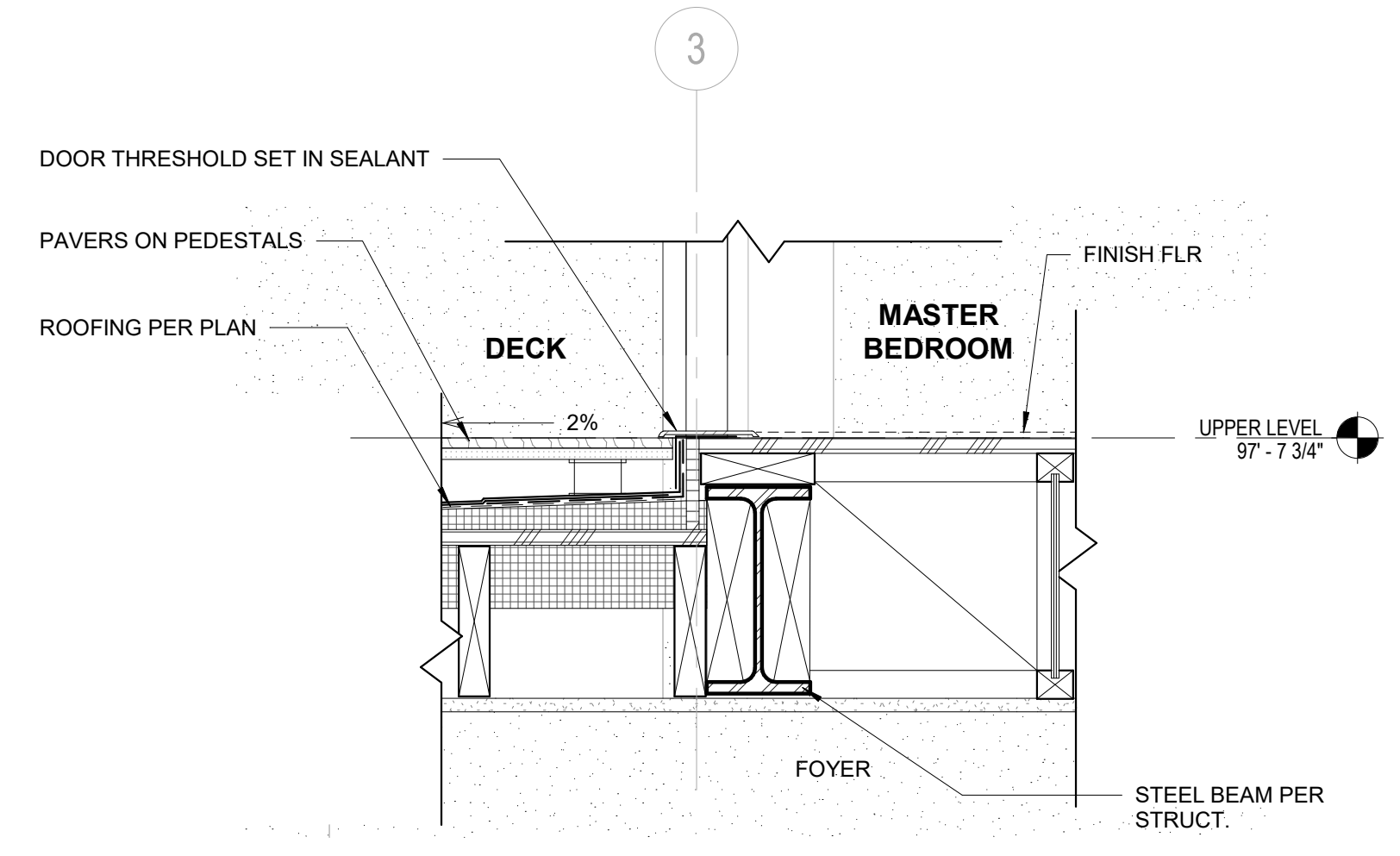
4 WINDOW SILL
Scale: 3" = 1'-0"



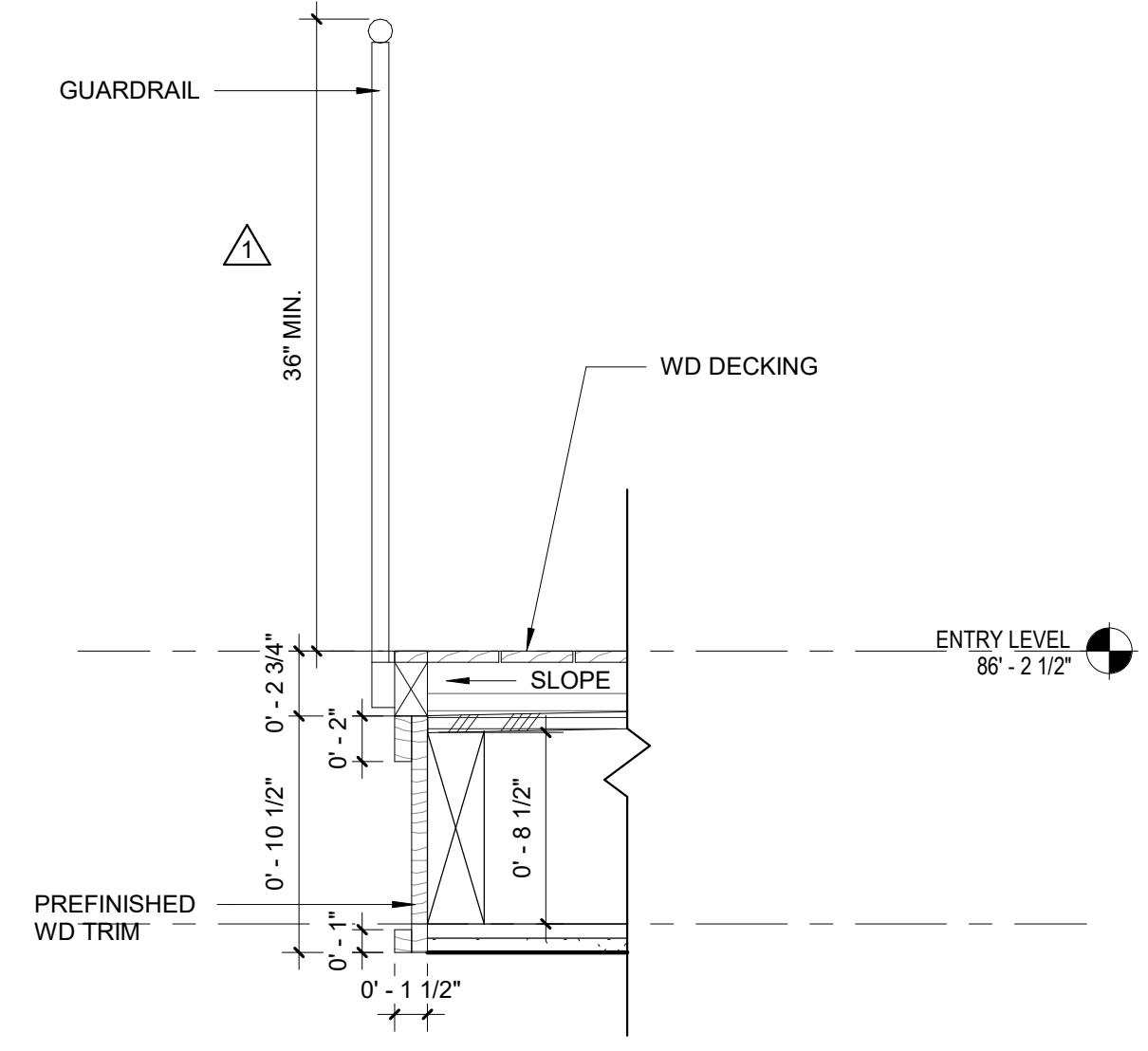
10 SLIDING GLASS DOOR JAMB DETAIL
Scale: 3" = 1'-0"




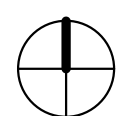
9 NANA WALL JAMB
Scale: 3" = 1'-0"



7 DOOR SILL @ DECK
Scale: 1 1/2" = 1'-0"



8 BALCONY RAILING DETAIL
Scale: 1 1/2" = 1'-0"

PROJECT PAEK RESIDENCE		
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040		
CLIENT Timothy & Elen Paek		
1	Comment 1	08/16/19
No.	Description	Date
REVISIONS		
DRAWING STATUS		
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 M Z A ARCHITECTURE 600 108th Ave NE Suite 1108 Bellevue WA 98004 425.559.7888 contact@mzaus.com		
STAMP		
DRAWING TITLE WALL SECTIONS & DETAILS		
DRAWN Author	DESIGNED Designer	
DATE 08/16/19		
GRAPHIC SCALE As indicated		
PROJECT NO. 18-009		
DRAWING NO. A6.0	REVISION NO. 1	

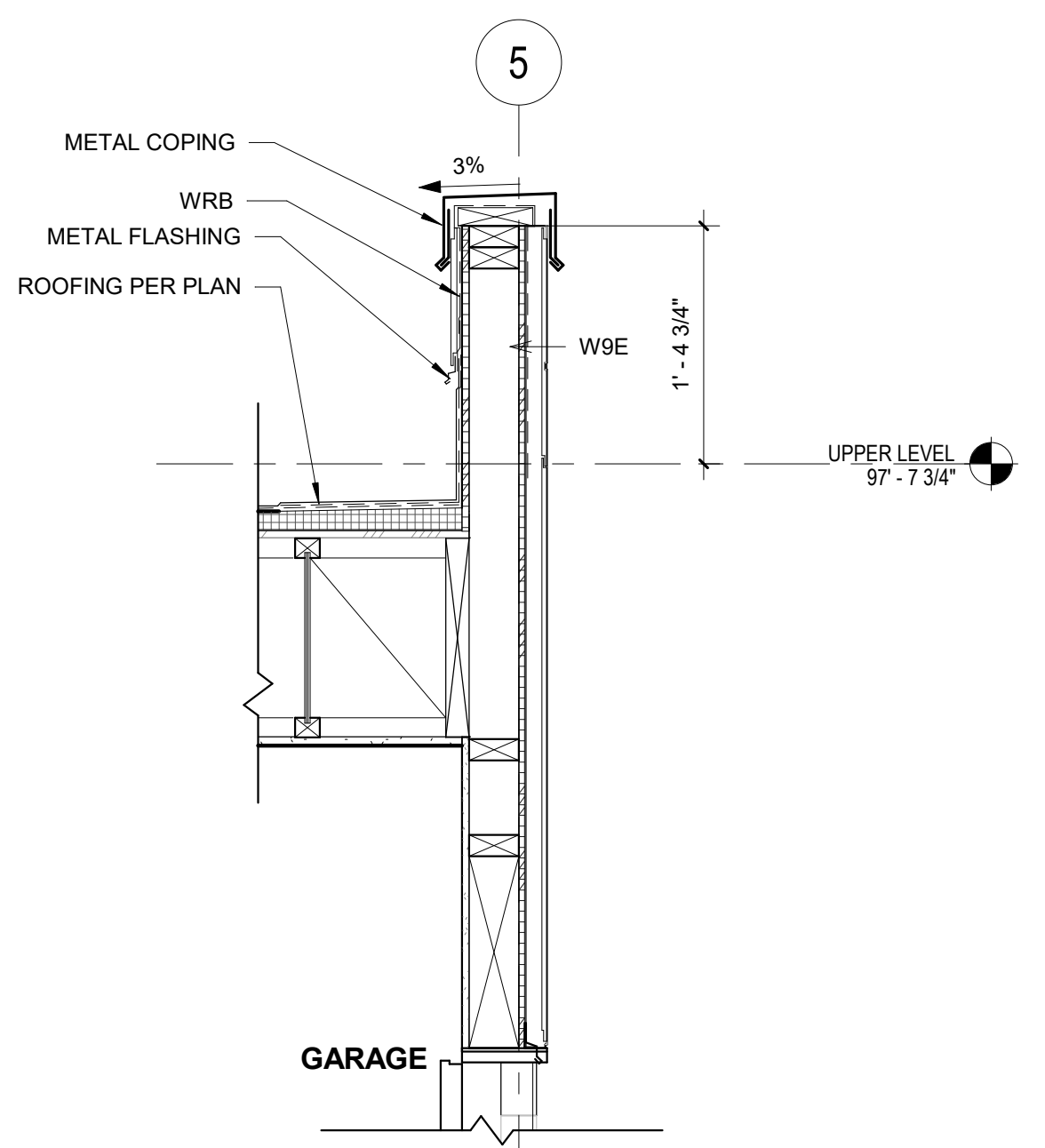
FILE NAME:
PLOT TIME:
DATE:

24"x36" ARCH D - SHEET SIZE

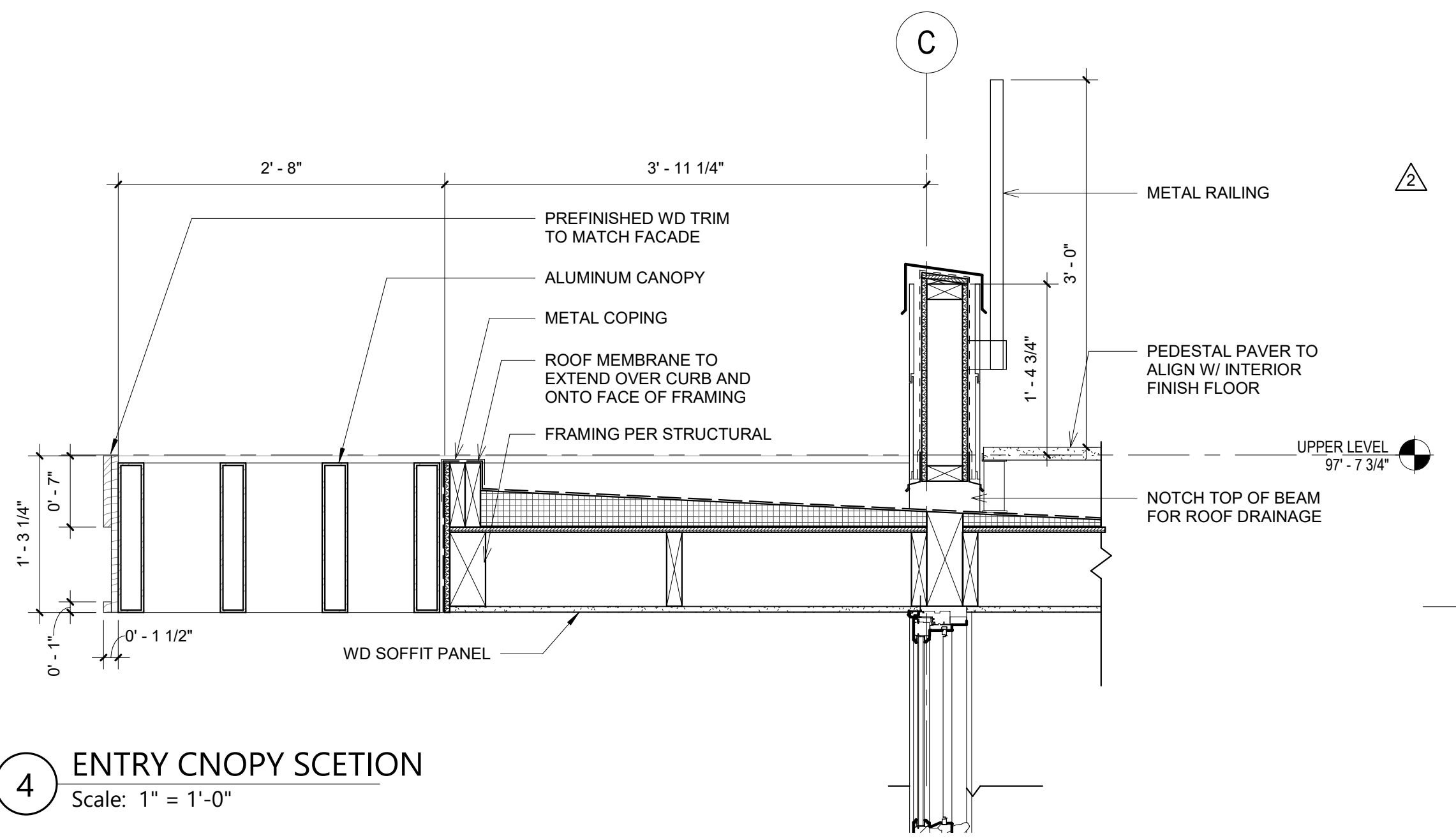
PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

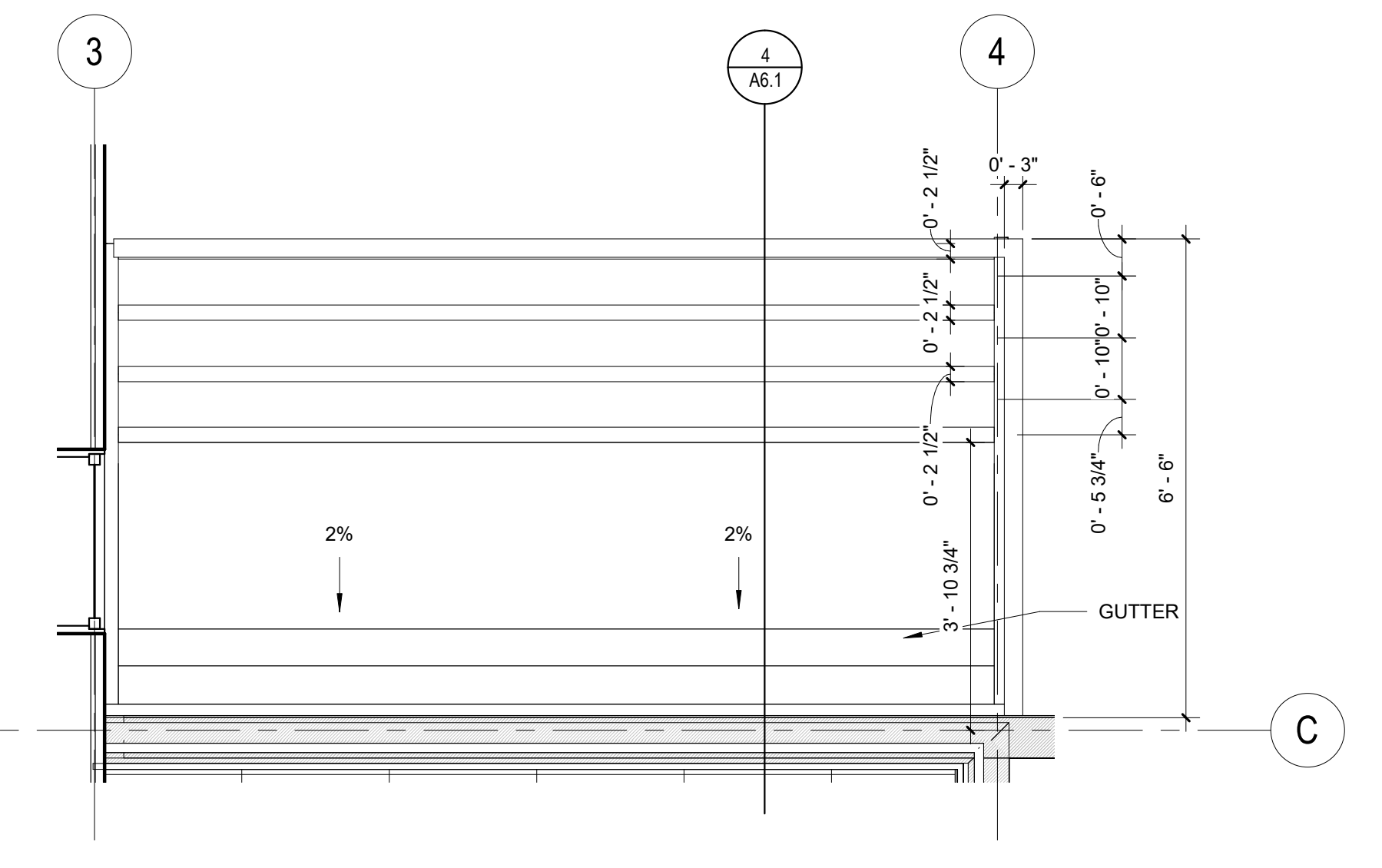
CLIENT
Timothy & Elen Paek



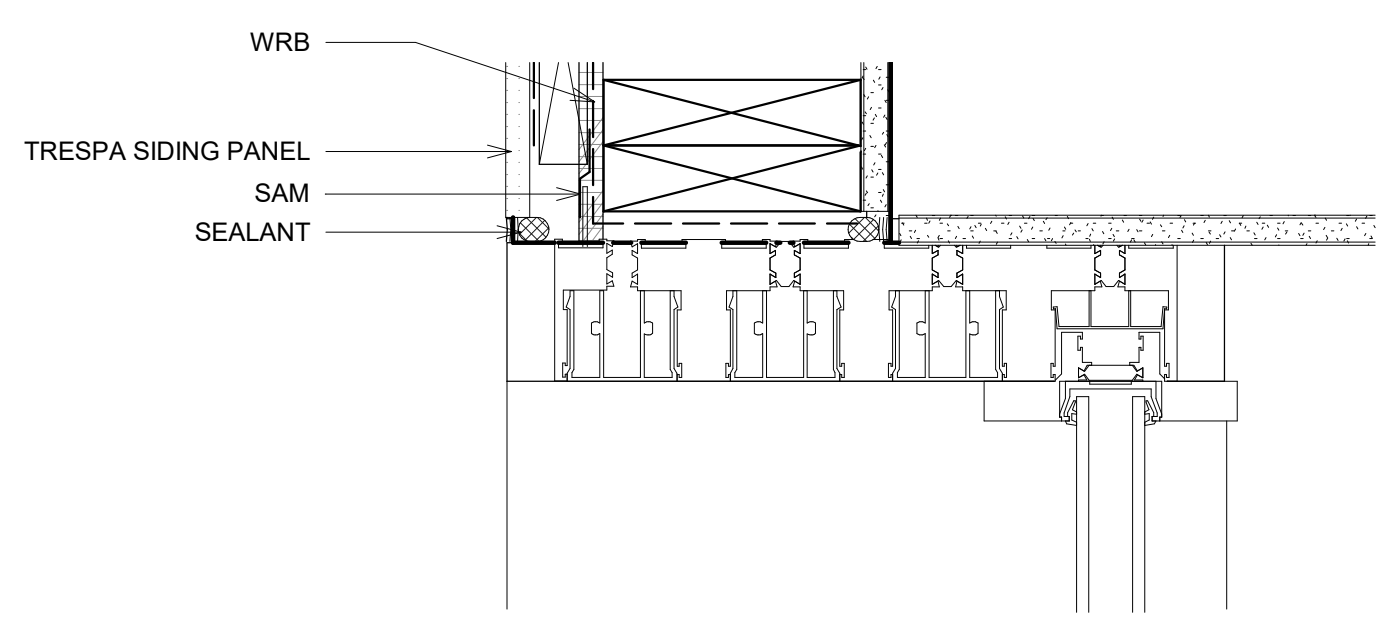
3 WALL SECTION @ GARAGE DOOR -
Scale: 1" = 1'-0"



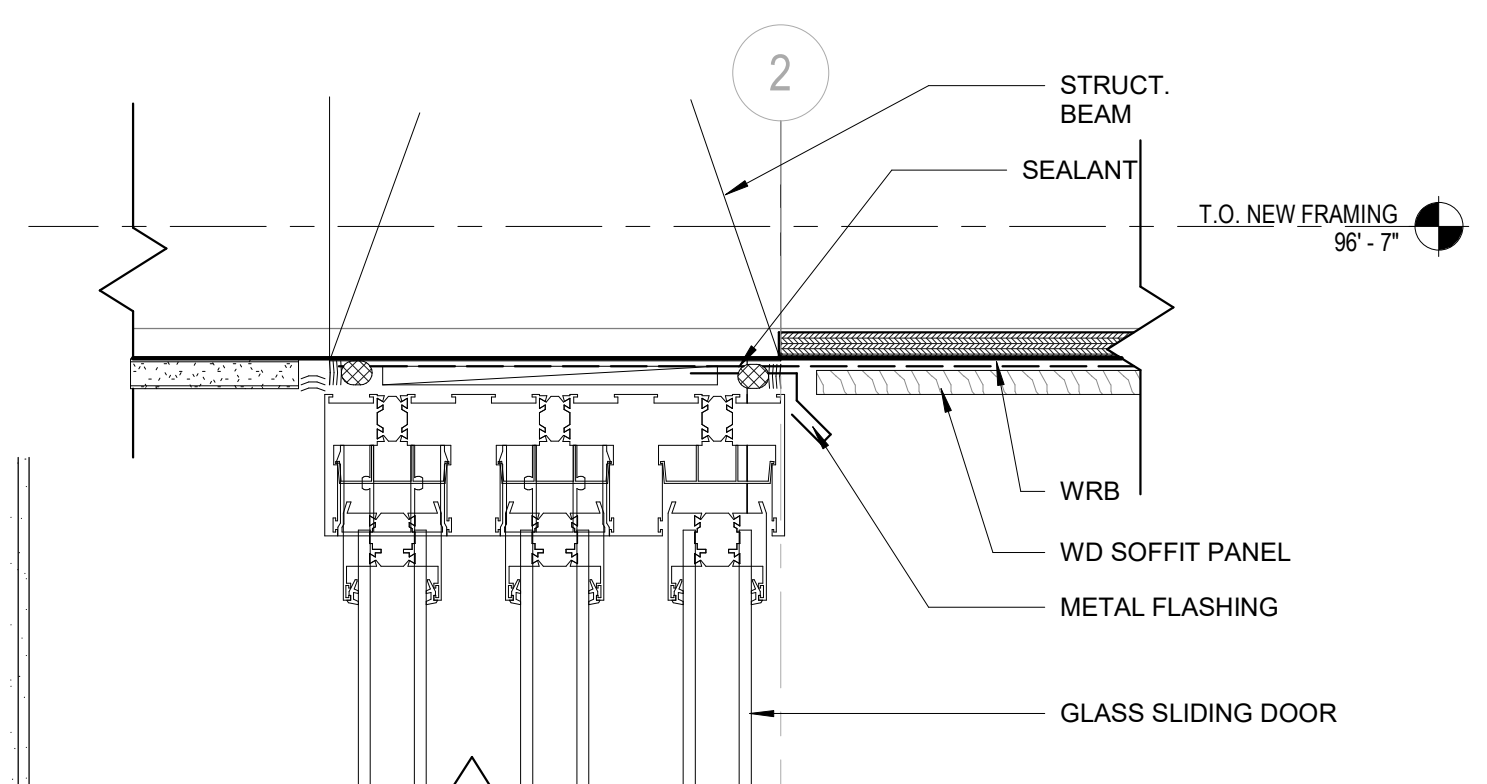
4 ENTRY CNOPY SCETION
Scale: 1" = 1'-0"



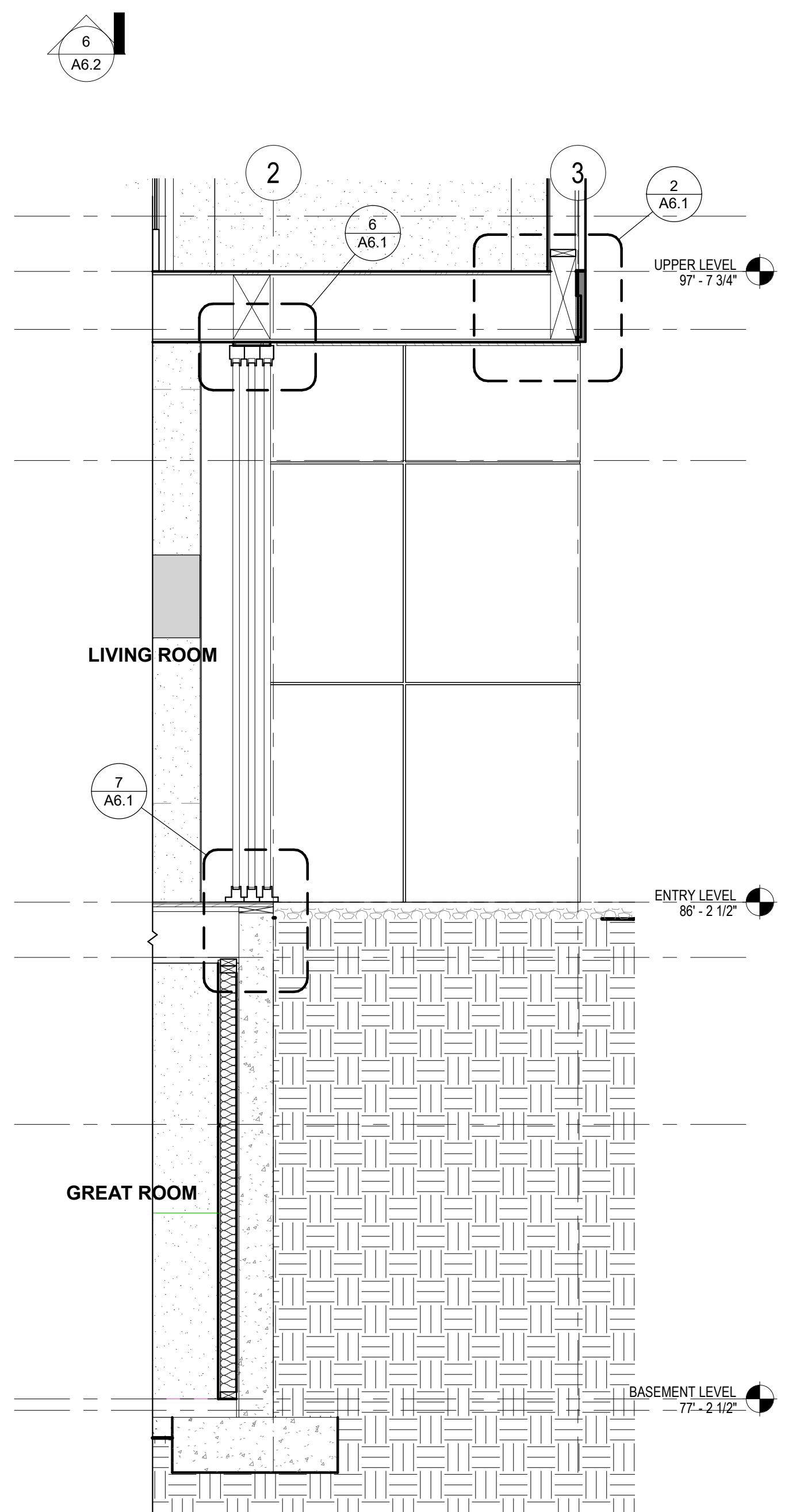
5 ENTRY CANOPY PLAN
Scale: 1/2" = 1'-0"



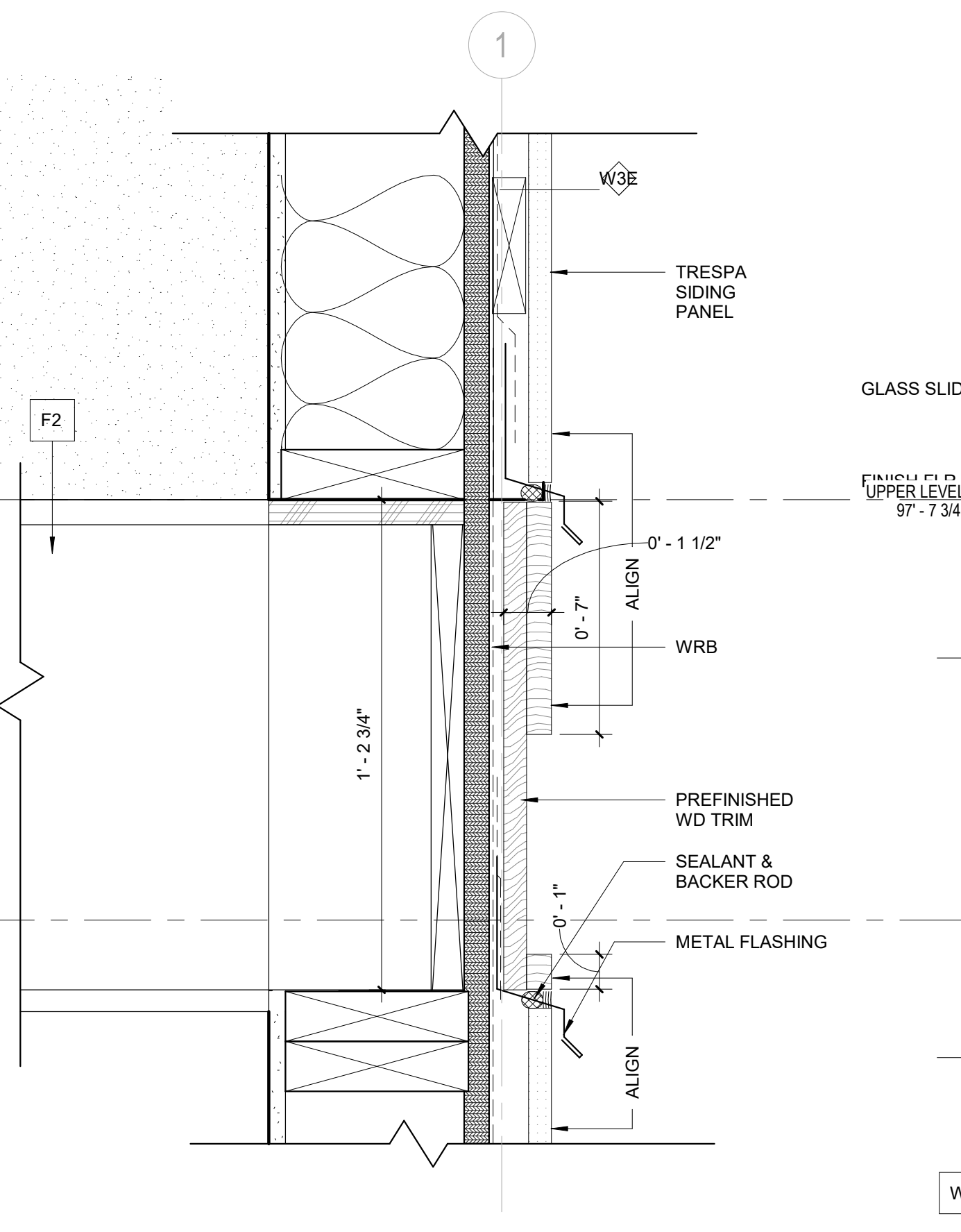
11 SLIDING DOOR JAMB - RIGHT
Scale: 3" = 1'-0"



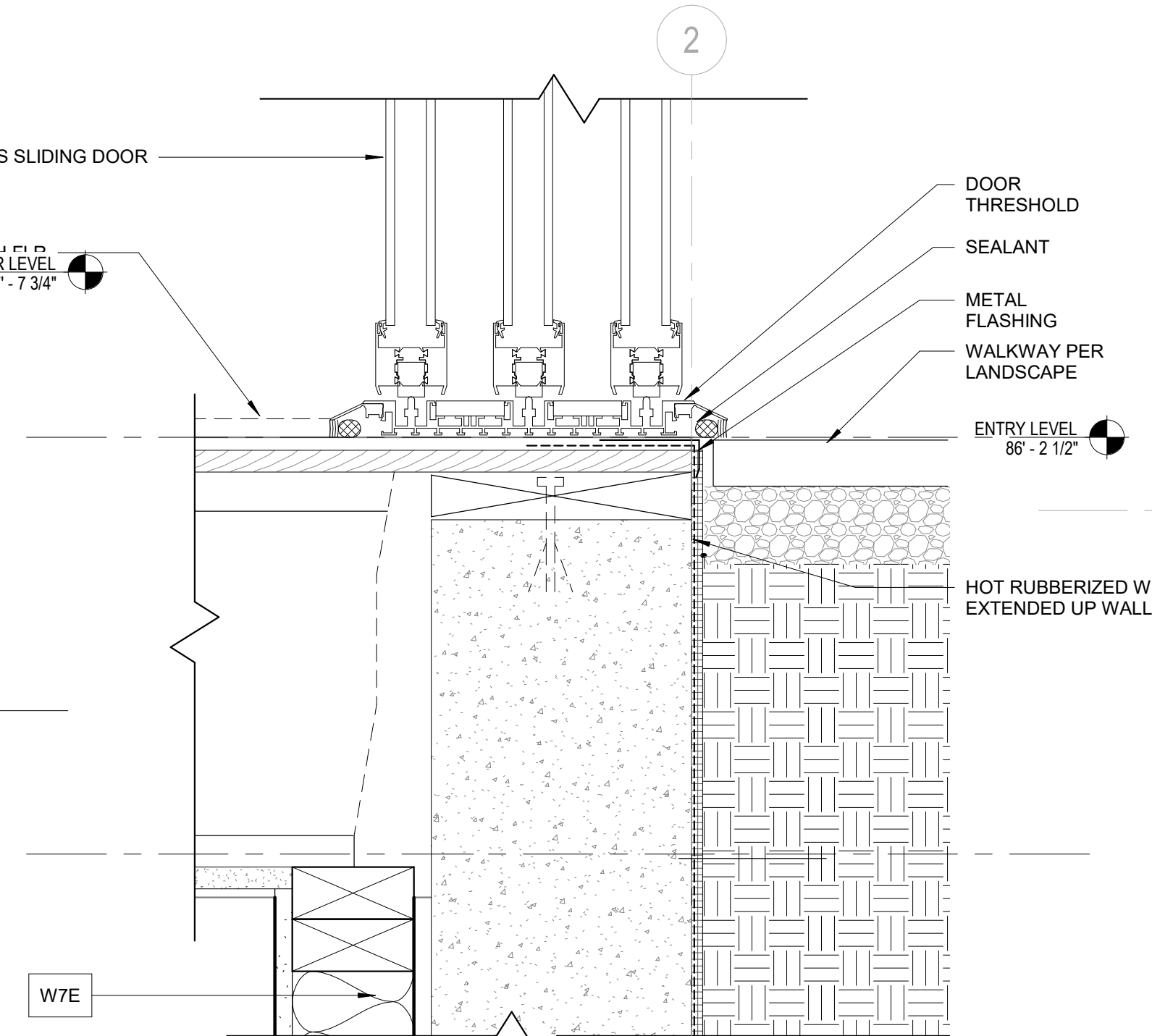
6 DOOR HEAD AT SOFFIT
Scale: 3" = 1'-0"



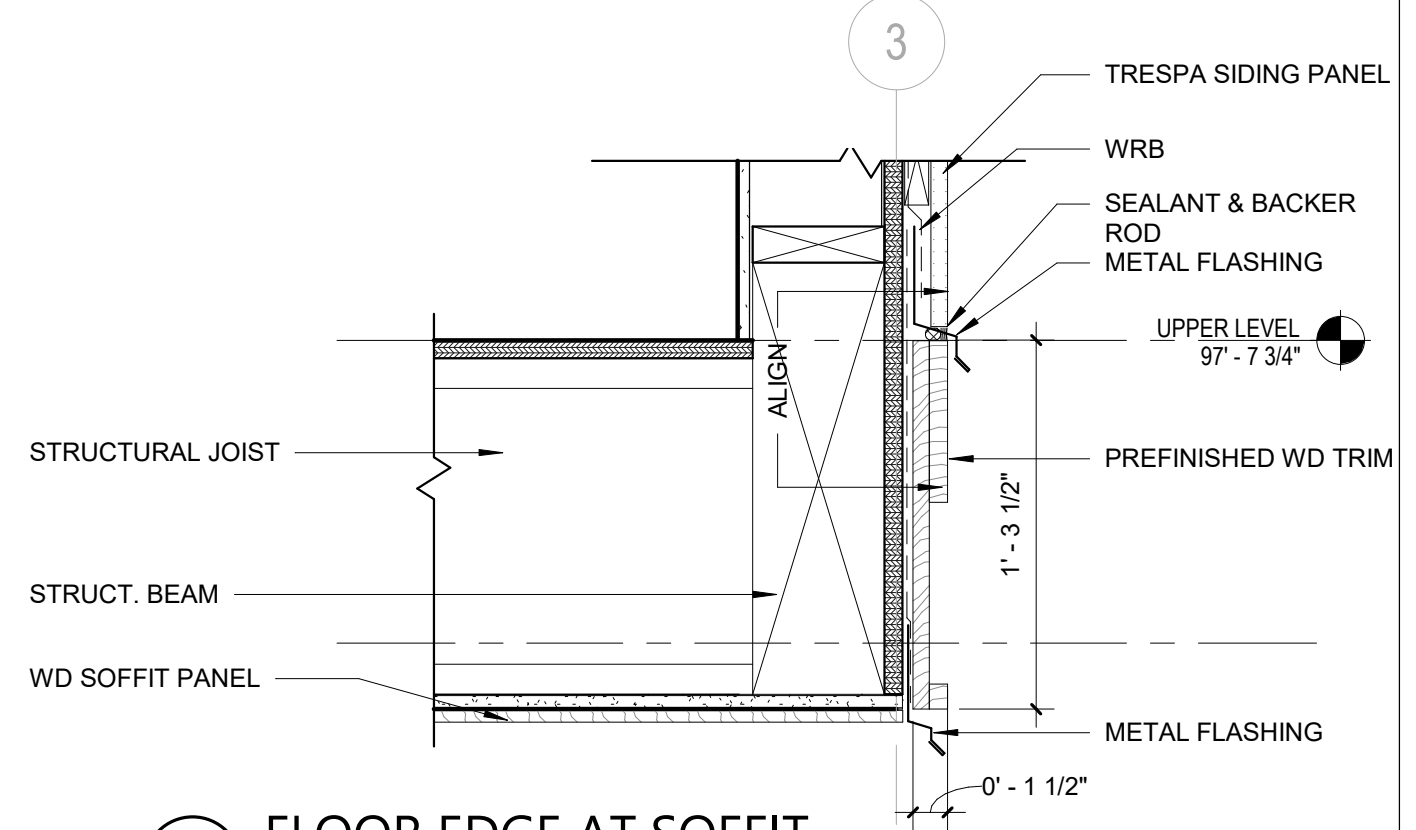
1 WALL SECTION @ GREAT ROOM
Scale: 1/2" = 1'-0"



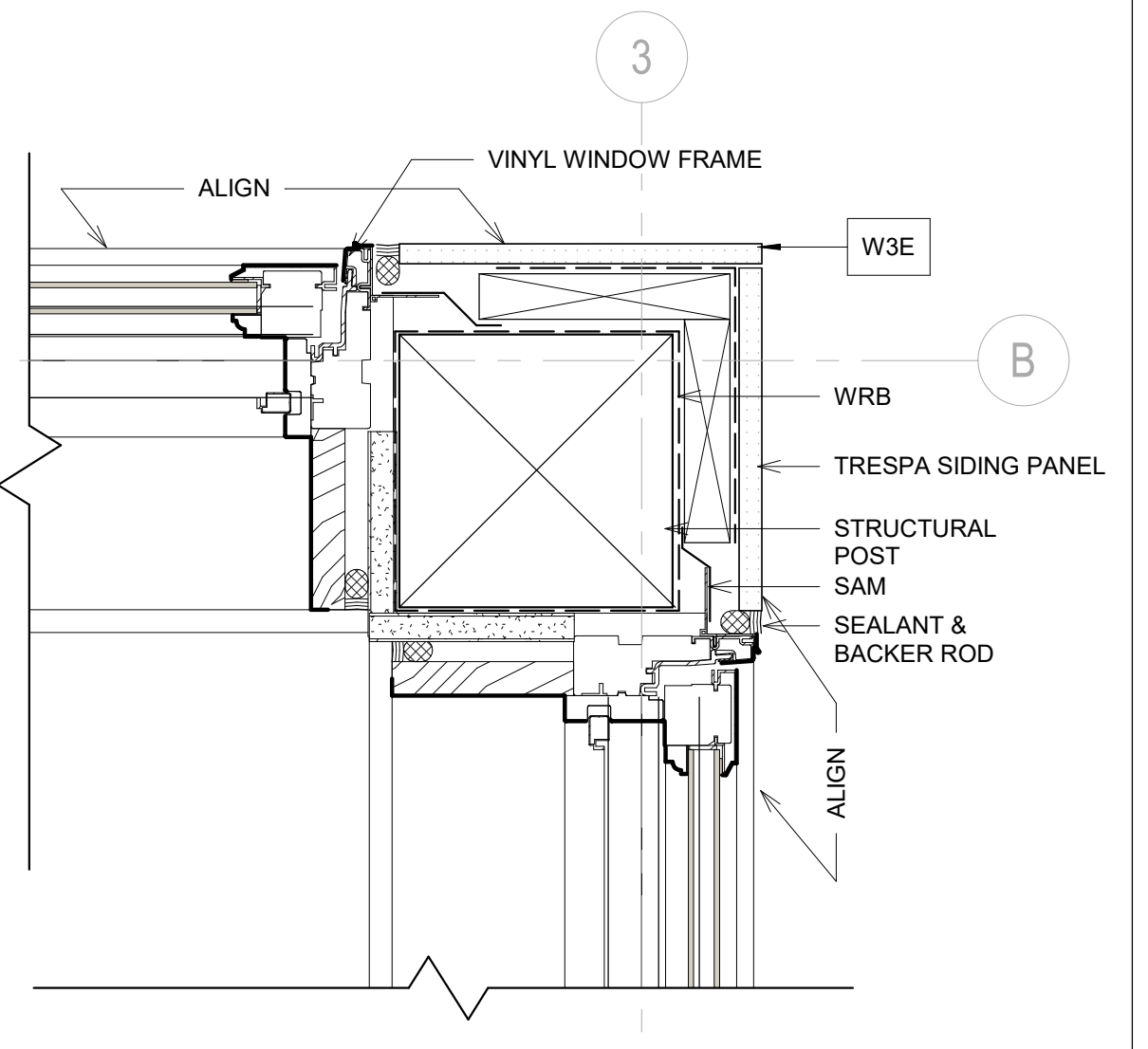
9 MATERIAL TRANSITION AT FLR LINE
Scale: 3" = 1'-0"



7 LIVING ROOM ENTRY DOOR DETAIL
Scale: 3" = 1'-0"



2 FLOOR EDGE AT SOFFIT
Scale: 1 1/2" = 1'-0"



8 OUTSIDE CORNER DETAIL
Scale: 3" = 1'-0"

No.	Comment	Date
2	Comment 2	11/26/19

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STAMP
REGISTERED ARCHITECT
Ming Zhang
STATE OF WASHINGTON

DRAWING TITLE
WALL SECTIONS & DETAILS

DRAWN Author
DESIGNED Designer

DATE 08/16/19

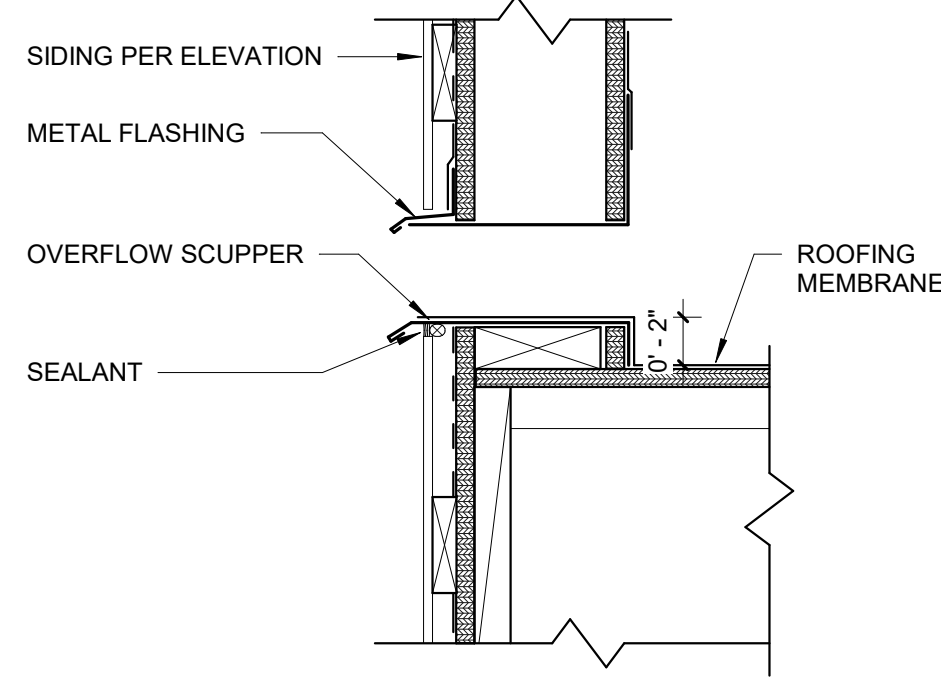
GRAPHIC SCALE
As indicated

PROJECT NO.
18-009

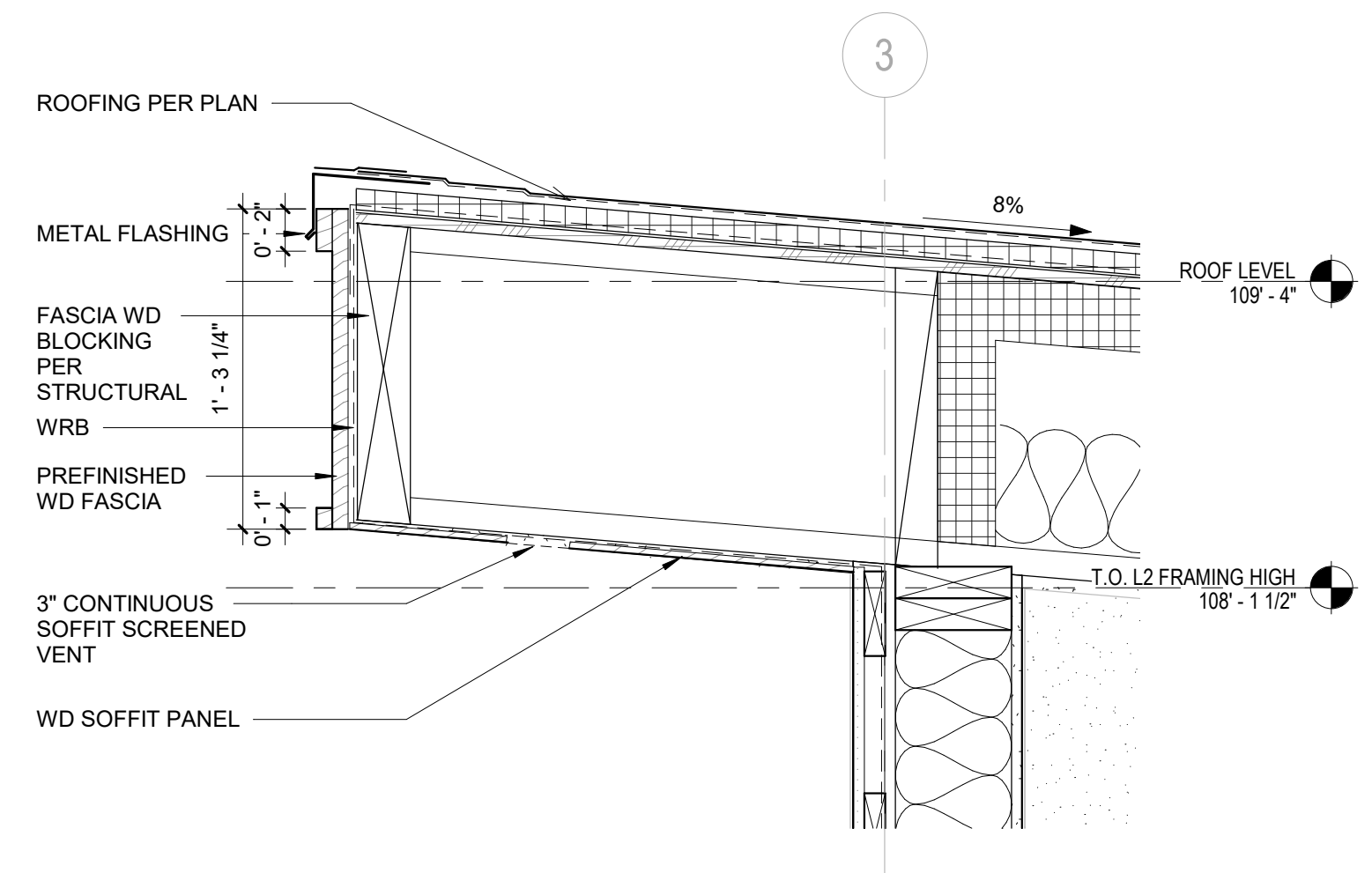
DRAWING NO.
A6.1

REVISION NO.
2

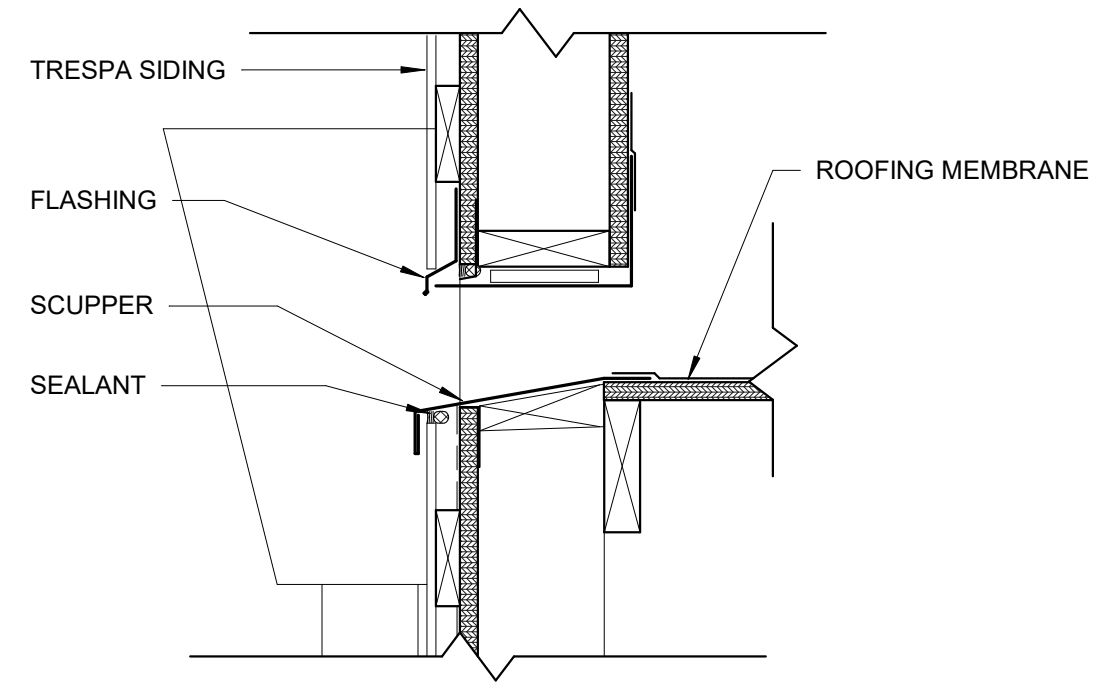
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PLOT TIME:
DATE:



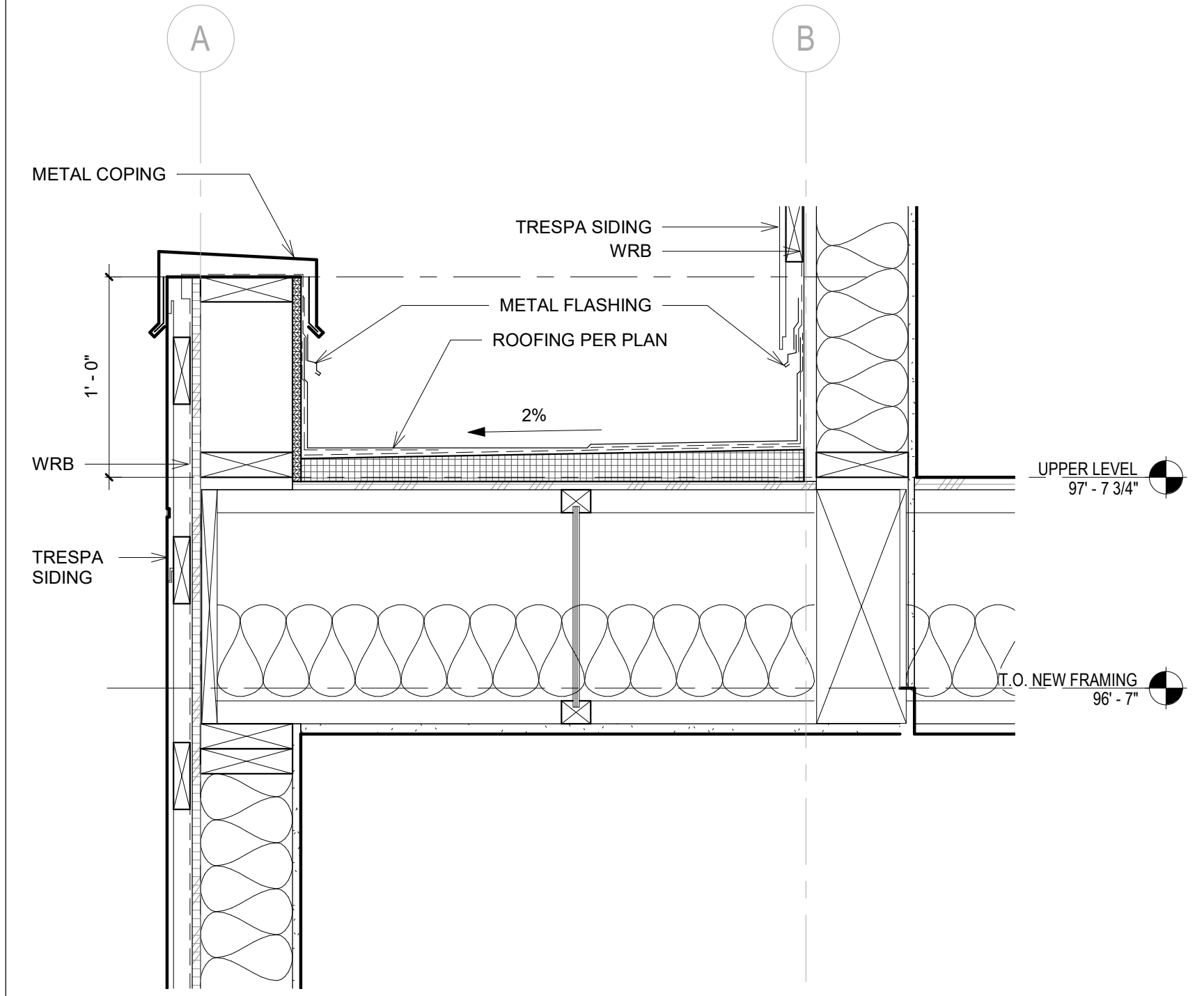
12 OVERFLOW DETAIL
Scale: 1 1/2" = 1'-0"



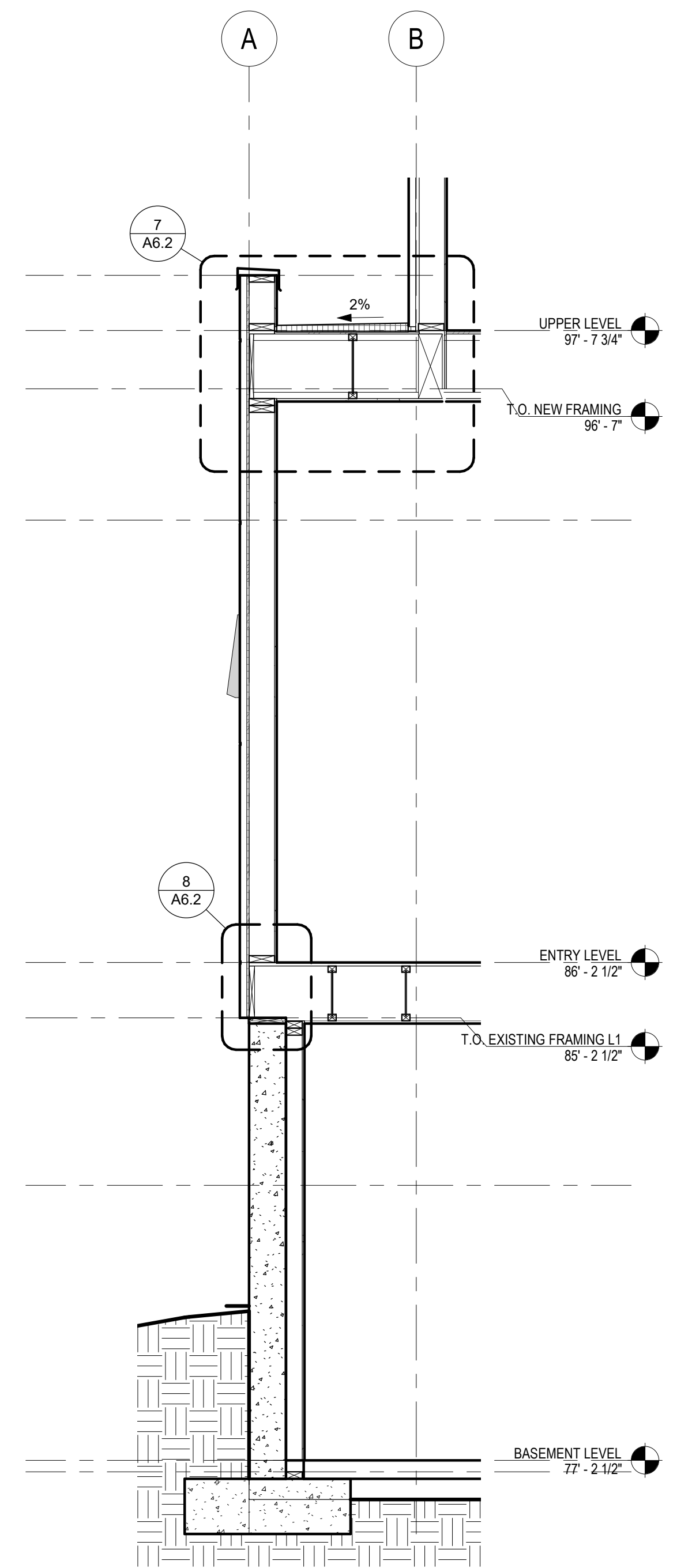
10 SLOPED ROOF OVERHANG
Scale: 1 1/2" = 1'-0"



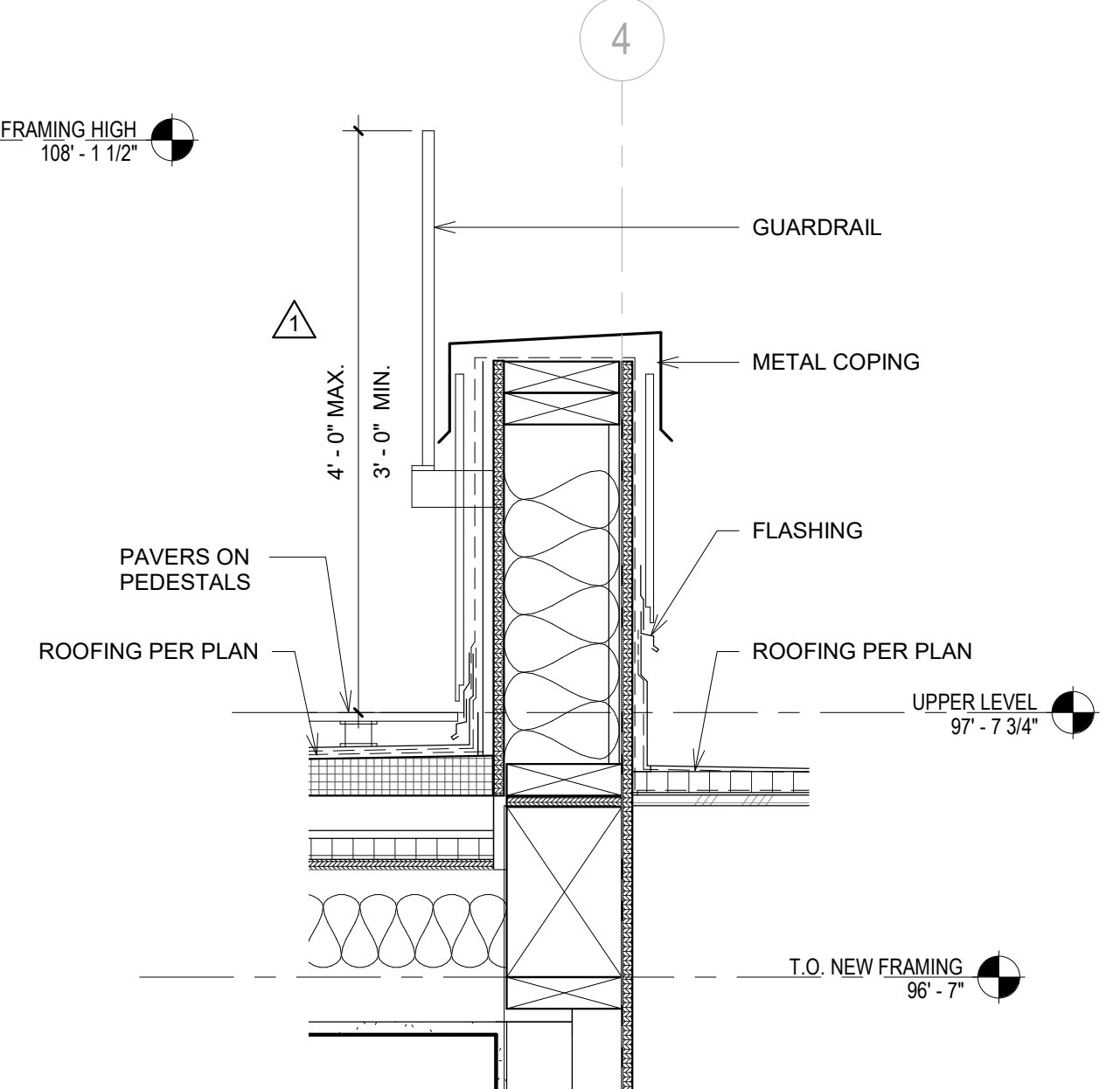
11 SCUPPER DETAIL
Scale: 1 1/2" = 1'-0"



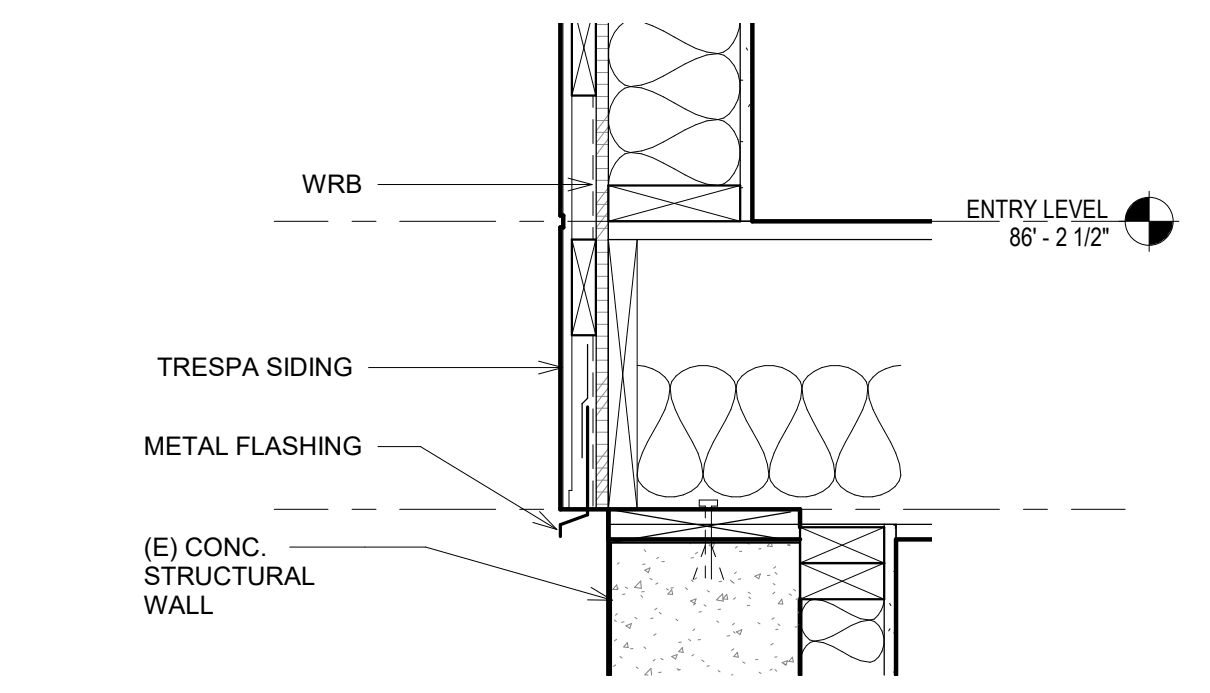
7 Detail AT PARAPET
Scale: 1 1/2" = 1'-0"



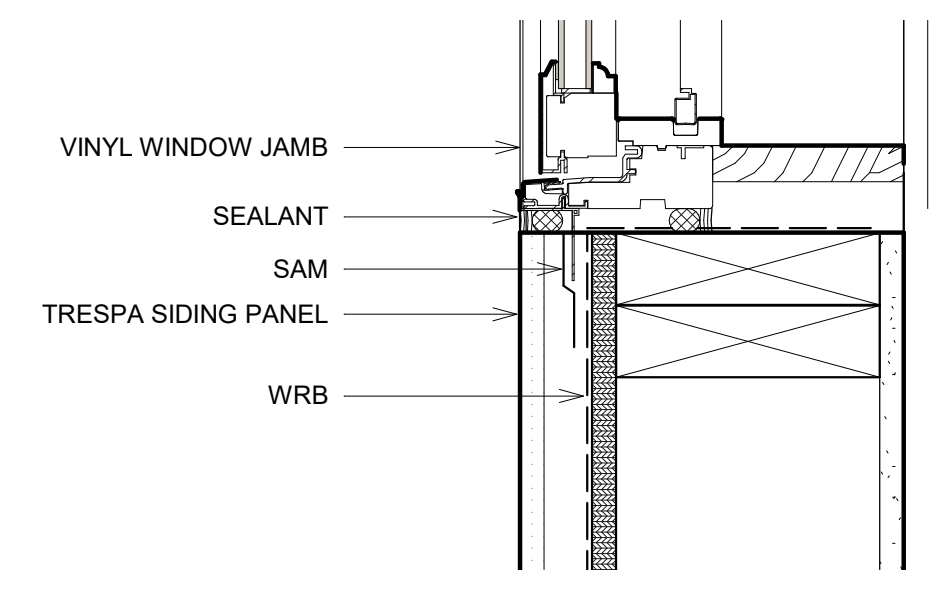
6 WALL SECTION - STAIR ROOF
Scale: 1/2" = 1'-0"



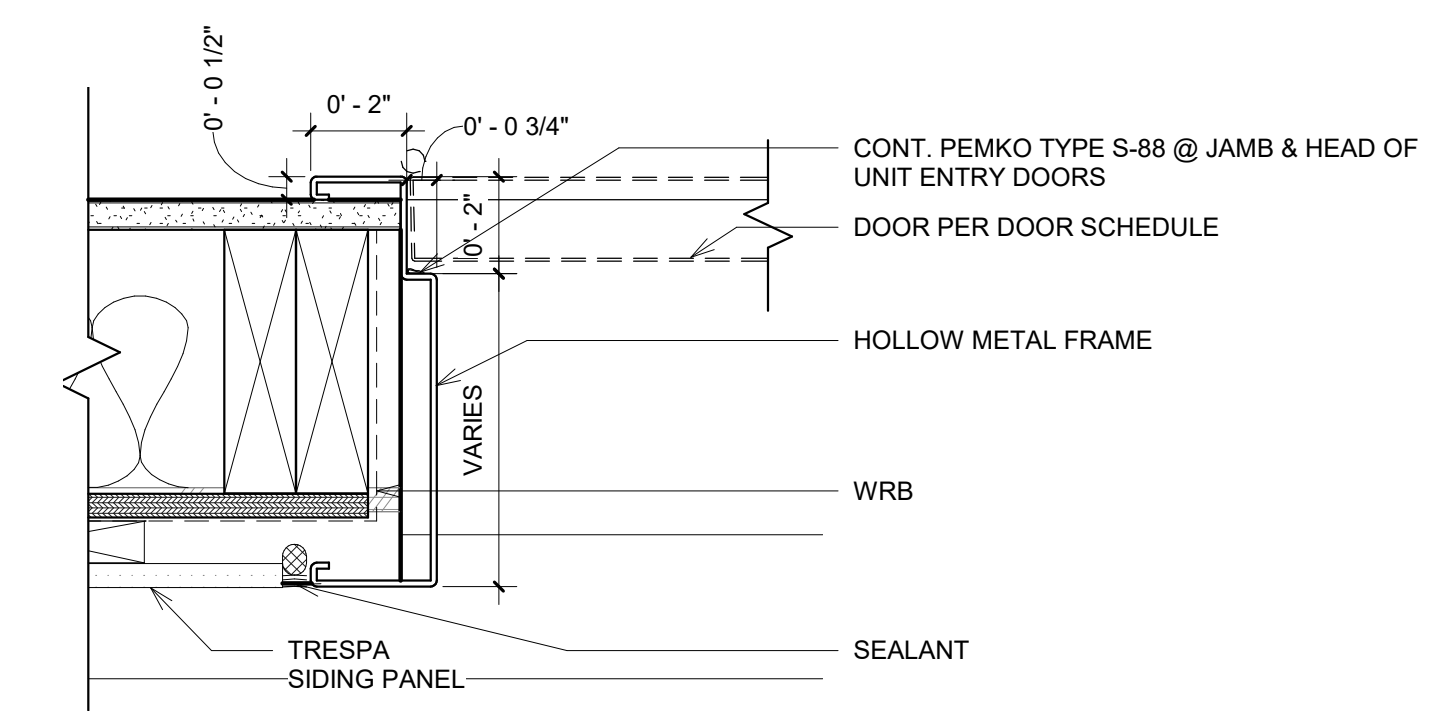
9 SECTION AT RAILING / PARAPET
Scale: 1 1/2" = 1'-0"



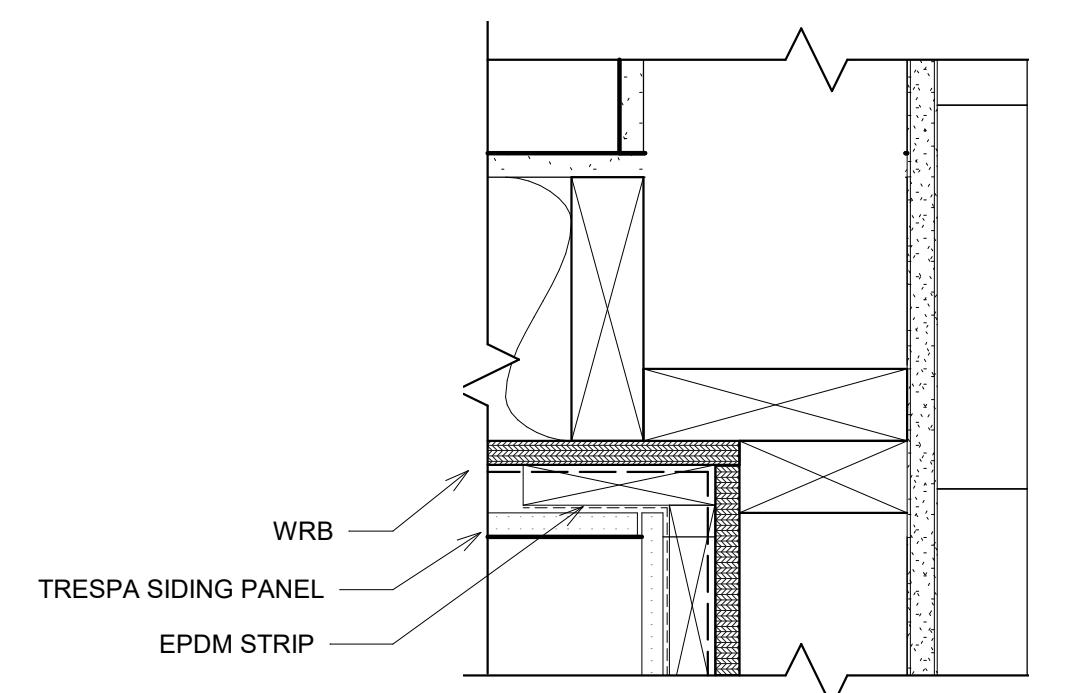
8 CONC. WALL / WD FRAME BASE
Scale: 1 1/2" = 1'-0"



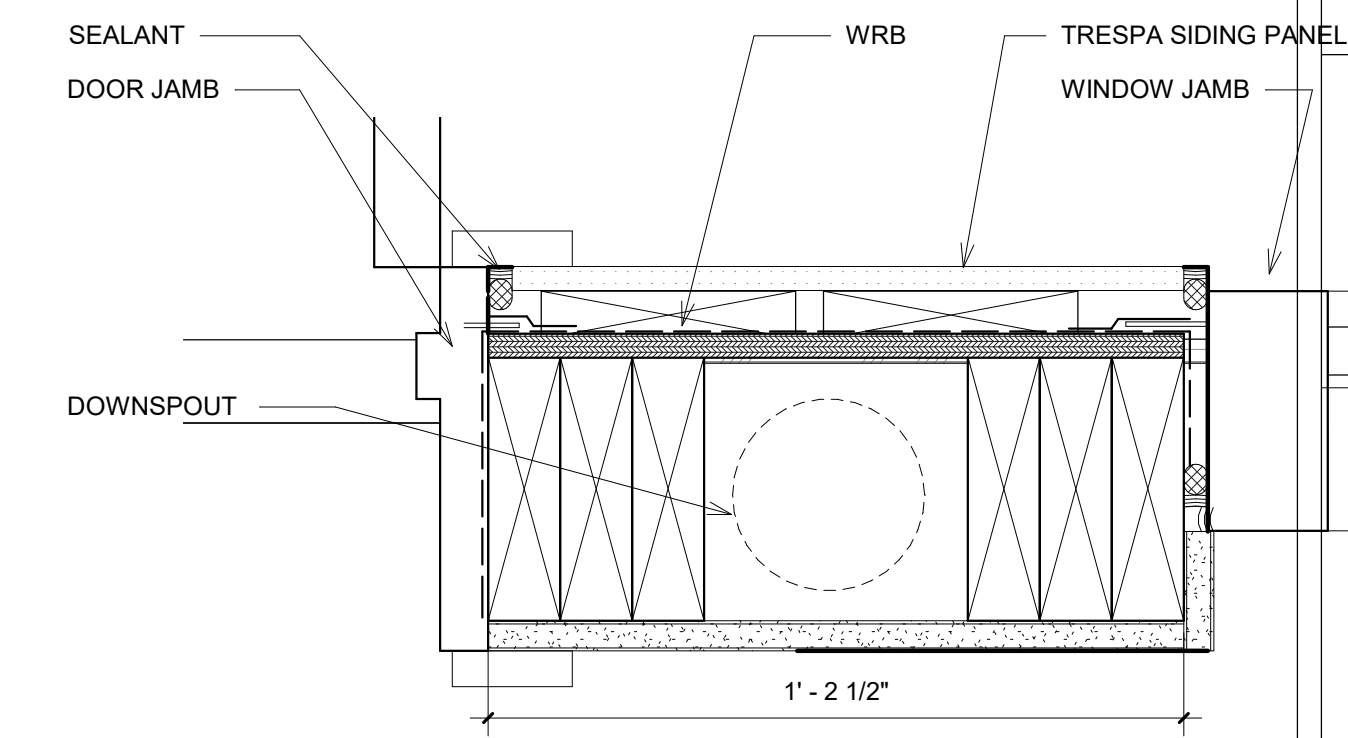
5 WINDOW JAMB DETAIL
Scale: 3" = 1'-0"



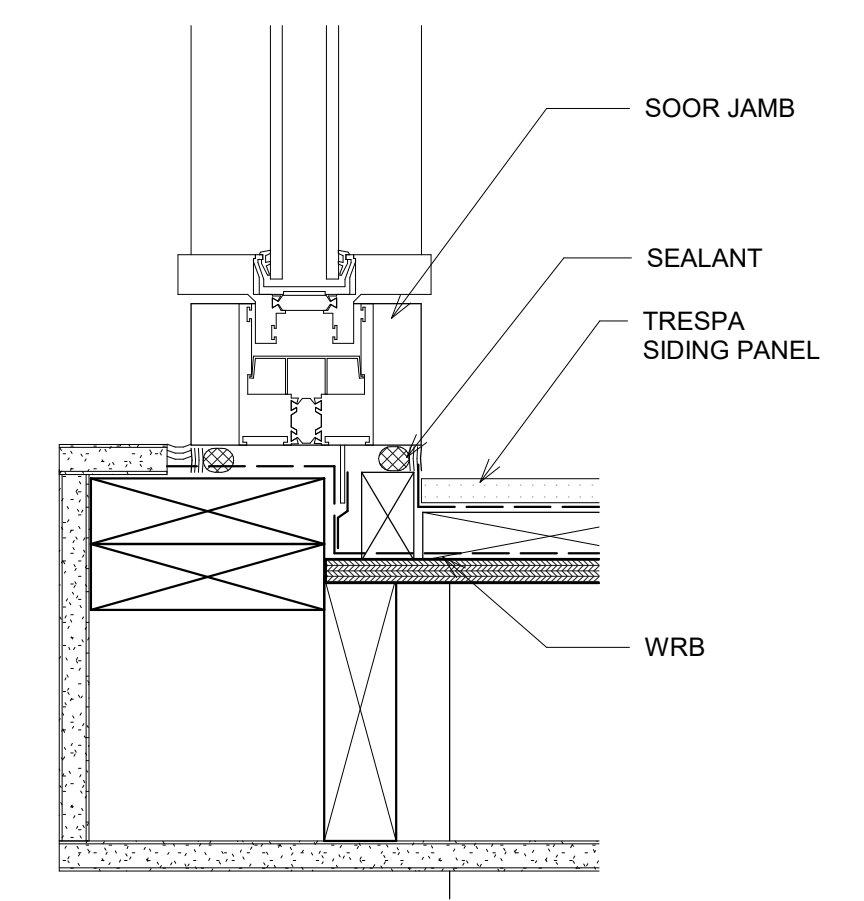
4 HOLLOW METAL JAMB DETAIL
Scale: 3" = 1'-0"



3 INNER CORNER - TRESPA
Scale: 3" = 1'-0"



2 DETAIL AT ENTRY - DOWNSPOUT
Scale: 3" = 1'-0"



1 DOOR JAMB - INNER CORNER
Scale: 3" = 1'-0"

PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

CLIENT
Timothy & Elen Paek

No.	Comment	Date
1	Comment 1	08/16/19

REVISIONS

DRAWING STATUS

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STAMP
REGISTERED ARCHITECT
Ming Zhang
STATE OF WASHINGTON

DRAWING TITLE
WALL SECTIONS & DETAILS

DRAWN Author
DESIGNED Designer

DATE 08/16/19

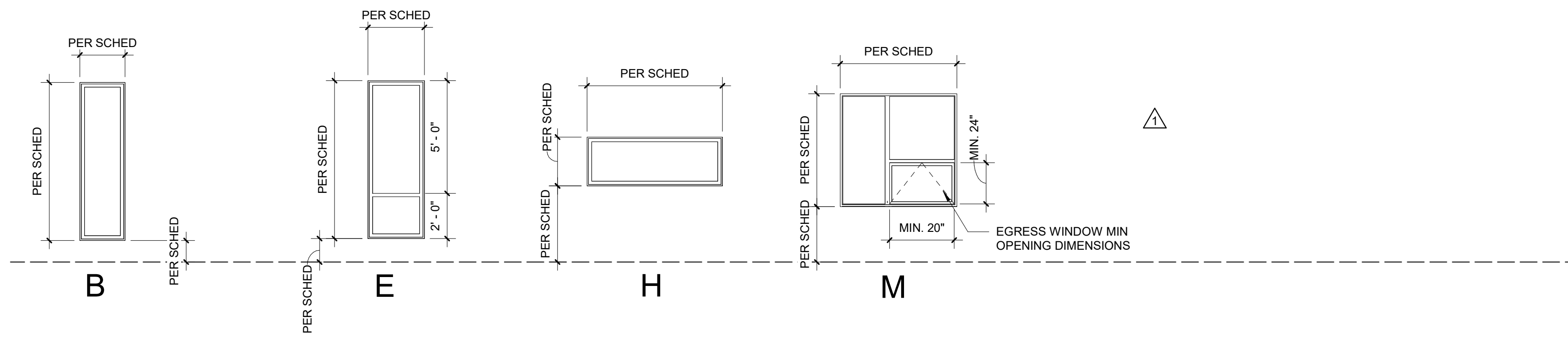
GRAPHIC SCALE
As indicated

PROJECT NO.
18-009

DRAWING NO.
A6.2

REVISION NO.
1

Window Schedule								
Level	Type Mark	Mark	MATERIAL	Width	Height	Sill Height	Window Area	Comments
BASEMENT LEVEL	B	O2	VINYL	2'-0"	7'-0"	0'-6"	14 SF	
BASEMENT LEVEL	B	O2	VINYL	2'-0"	7'-0"	0'-6"	14 SF	
BASEMENT LEVEL	M	O7	VINYL	5'-2"	5'-0"	3'-0"	26 SF	EGRESS WINDOW
ENTRY LEVEL	E	O8	VINYL	2'-6"	4'-0"	3'-11 3/4"	10 SF	
ENTRY LEVEL	M	O11	VINYL	5'-2"	5'-6"	3'-6"	28 SF	EGRESS WINDOW
UPPER LEVEL	E	O16	VINYL	2'-6"	7'-0"	2'-0"	18 SF	
UPPER LEVEL	E	O16	VINYL	2'-6"	7'-0"	2'-0"	18 SF	
UPPER LEVEL	E	O16	VINYL	2'-6"	7'-0"	2'-0"	18 SF	
UPPER LEVEL	H	O14	VINYL	6'-0"	2'-0"	5'-0"	12 SF	
UPPER LEVEL	H	O15	VINYL	5'-0"	2'-0"	7'-0"	10 SF	
UPPER LEVEL	H	O14	VINYL	5'-0"	2'-0"	5'-0"	10 SF	
UPPER LEVEL	M	O12	VINYL	6'-0"	5'-0"	2'-0"	30 SF	EGRESS WINDOW
UPPER LEVEL	M	O12	VINYL	6'-0"	5'-0"	2'-0"	30 SF	EGRESS WINDOW
UPPER LEVEL	M	O13	VINYL	6'-10"	7'-0"	2'-0"	48 SF	EGRESS WINDOW
							302 SF	

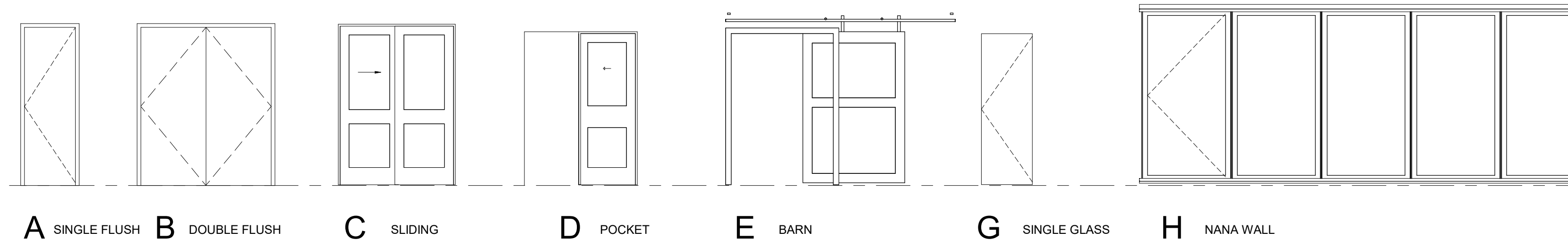


WINDOW TYPES

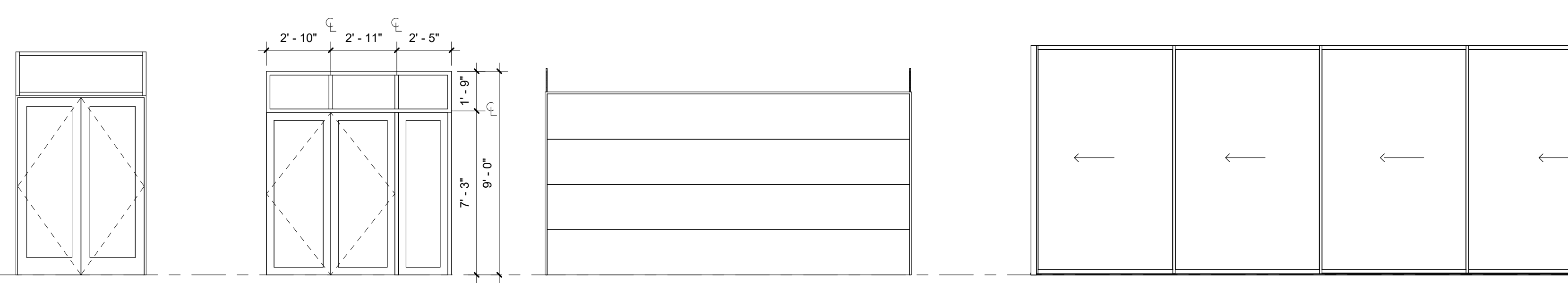
NOTE:

REFER TO SHEET A0.2 SECTION FOR ENERGY CODE NOTES REGARDING WINDOW ENERGY PERFORMANCE AND VALUES.
GLAZING IN DOORS, ADJACENT TO DOORS, AND IN WINDOWS ARE TEMPERED IN HAZARDOUS LOCATIONS PER R308.4.
EGRESS WINDOW REQUIREMENTS ARE PER R310.

Door Schedule													
Level	Mark	Type Mark	Height	Width	Door Material	Door Finish	Frame Material	Frame Finish	Fire Rating	Door Area	U-Value	UA	Comments
BASEMENT LEVEL	005	A	6'-8"	2'-6"					NR	16.67			
BASEMENT LEVEL	002	A	6'-8"	2'-8"					NR	17.78			
BASEMENT LEVEL	001	A	6'-8"	2'-6"					NR	16.67			
BASEMENT LEVEL	003	A	6'-8"	2'-6"					NR	16.67			
BASEMENT LEVEL	004	D	6'-8"	2'-6"					NR	16.67			
BASEMENT LEVEL	006	H	7'-9 1/4"	20'-0"						155.42			
ENTRY LEVEL	102	A	6'-8"	2'-6"					NR	16.67			
ENTRY LEVEL	103	A	6'-8"	2'-6"					NR	16.67			
ENTRY LEVEL	104	A	6'-8"	2'-6"					NR	16.67			
ENTRY LEVEL	101	A	8'-0"	3'-0"					NR	24			
ENTRY LEVEL	105	A	6'-8"	3'-0"	Finishes - Paint - White	Door - Panel	Finishes - Paint - White		20 MIN.	20			PROVIDE SELF-CLOSER
ENTRY LEVEL	106	B-1	7'-10"	5'-7"					NR	43.74			
ENTRY LEVEL	110	K	8'-0"	16'-0"					NR	128			
ENTRY LEVEL	109	L	10'-2"	26'-0"						264.33			
ENTRY LEVEL	108	L	10'-1"	26'-10"						270.57			
UPPER LEVEL	208	A	6'-8"	2'-6"					NR	16.67			
UPPER LEVEL	207	A	6'-8"	2'-6"					NR	16.67			
UPPER LEVEL	201	A	6'-8"	2'-6"					NR	16.67			
UPPER LEVEL	210	A	6'-8"	2'-8"					NR	17.78			
UPPER LEVEL	204	A	6'-8"	2'-8"					NR	17.78			
UPPER LEVEL	202	A	6'-8"	2'-6"					NR	16.67			
UPPER LEVEL	203	B	6'-8"	4'-10"					NR	32.22			
UPPER LEVEL	214	B-2	7'-2"	5'-8"					NR	40.61	0.5	20.31	
UPPER LEVEL	209	C	7'-0"	5'-0"					NR	35			
UPPER LEVEL	205	C	7'-0"	5'-0"					NR	35			
UPPER LEVEL	206	C	7'-0"	5'-0"					NR	35			
UPPER LEVEL	212	E	6'-8"	4'-6"					NR	30			
UPPER LEVEL	213	G	6'-8"	2'-3"					NR	15			
											20.31		

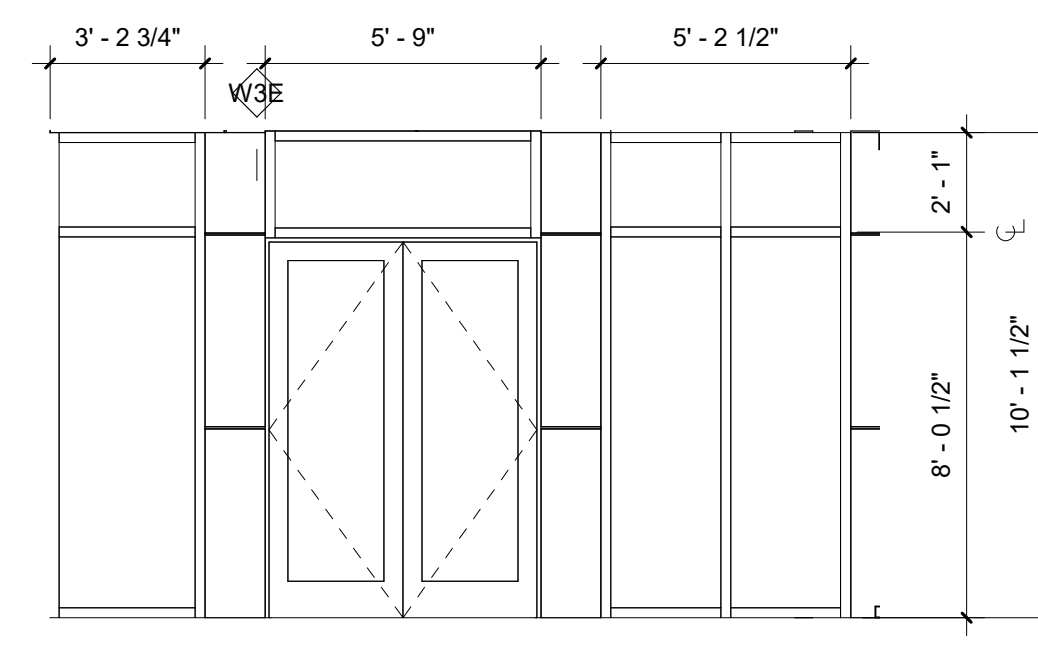


A SINGLE FLUSH B DOUBLE FLUSH C SLIDING D POCKET E BARN G SINGLE GLASS H NANA WALL

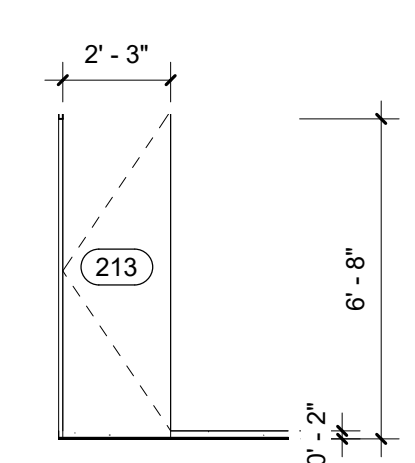


B-1 DOUBLE GLASS / WD B-2 DOUBLE GLASS K OVERHEAD - GARAGE L SLIDING - GLASS

DOOR TYPES



2 S2 GLASS WALL ELEVATION
Scale: 1/4" = 1'-0"



3 S1 GLASS WALL ELEVATION
Scale: 1/4" = 1'-0"

PROJECT
PAEK RESIDENCE

ADDRESS
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CLIENT
Timothy & Elen Paek

1	Comment 1	08/16/19
No.	Description	Date

REVISIONS

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ARCHITECTURE

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STAMP

DRAWING TITLE
WINDOW & DOOR TYPE AND SCHEDULE

DRAWN Author	DESIGNED Designer
DATE 08/16/19	
GRAPHIC SCALE 1/4" = 1'-0"	
PROJECT NO. 18-009	
DRAWING NO. A7.0	REVISION NO. 1

SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF INTENDED CLADDING MATERIALS

MARK	WALL ASSEMBLY COMPONENTS
W1E	EXTERIOR WALL - CAST IN PLACE CONCRETE WALL
W3E	EXTERIOR WALL - TRESPA METEON PANEL
W4E	EXTERIOR WALL - TRESPA METEON PANEL
W6E	INSULATED CONCRETE WALLS

MARK	WALL ASSEMBLY COMPONENTS
W7E	INSULATED CONCRETE WALLS
W8E	EXTERIOR WALL - GARAGE INTERIOR WALL-2X6
W9E	PARAPET WALL - TRESPA METEON PANEL
W1	INTERIOR WALL - TYPICAL - 2x4
W2	INTERIOR FURRING WALL - TYPICAL - 2x4
W3	INTERIOR UNIT PARTY WALL - DBL STUD-2X4 <p>NOT SHOWN: CONTINUOUS BEAD OF ACOUSTIC SEALANT AT PERIMETER OF WALL MEMBRANE WHERE PLANE MEETS ADJACENT WALL, CEILING, OR FLOOR</p>

MARK	WALL ASSEMBLY COMPONENTS
W4	INTERIOR WALL - TYPICAL - 2x6
W5	INTERIOR WALL - DBL STUD-2X4
W6	INTERIOR FURRING WALL - 2X4

NOTES:

1. ALL INSULATION SHALL HAVE MAXIMUM FLAME SPREAD INDEX OF 25 AND MAXIMUM SMOKE DEVELOPED INDEX OF 450 IN ACCORDANCE WITH 1997 IBC 719.2.
2. PROVIDE NON-PAPER FACED, MOLD & MILDEW RESISTANT GYPSUM WALL BOARD AT ALL MOISTURE AND DAMPNESS PRONE AREAS.
3. PROVIDE TILE BACKER BOARD (NOT GREENBOARD) AT ALL TILE CONDITIONS.
4. REFER TO STRUCTURAL PLANS FOR STUD SIZE AND SPACING.
5. SEPARATE BACK TO BACK ELECTRICAL OR OTHER UTILITY BOXES BY AT LEAST ONE STUD BAY IN SINGLE STUD WALLS ANT TWO STUD BAYS IN STAGGERED STUD OR DOUBLE STUD WALL ASSEMBLIES.
6. STAGGER ALL JOINTS WHENEVER TWO OR MORE LAYERS OF GWB ARE SCHEDULED.
7. SECURE BATT INSULATION TO THE STRUCTURE AS REQUIRED TO PREVENT SAGGING OR DISPLACEMENT.
8. CONFORM STRICTLY TO TESTING AGENCY ASSEMBLY DESIGNATION REQUIREMENTS NOTED FOR ALL RATED WALL TYPES.
9. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.
10. PROVIDE SOLID WOOD BLOCKING BEHIND ALL FIXTURES AND ACCESSORIES - TYPICAL, U.O.N.
11. REFER TO SHEET AB.0 FOR WEATHER RESISTANT BARRIER SPECIFICATION AND REQUIREMENTS.

PROJECT PAEK RESIDENCE											
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040											
CLIENT Timothy & Elen Paek											
<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td colspan="3">REVISIONS</td> </tr> <tr> <td colspan="3">DRAWING STATUS</td> </tr> </tbody> </table>			No.	Description	Date	REVISIONS			DRAWING STATUS		
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 400 108th Ave NE Suite 102 Bellevue WA 98004 425.559.7888 contact@mza.us											
STAMP 											
DRAWING TITLE WALL TYPES											
DRAWN Author	DESIGNED Designer										
DATE 08/16/19											
GRAPHIC SCALE 1" = 1'-0"											
PROJECT NO. 18-009											
DRAWING NO. A7.1	REVISION NO.										

HORIZONTAL ASSEMBLY GENERAL NOTES:

1. ALL RIGID AND SPRAY FOAM INSULATION SHALL BE AIR IMPERMEABLE (CLOSED CELL).



MARK	FLOOR/CEILING ASSEMBLY COMPONENTS
F1	<p>SLAB ON GRADE-BASEMENT AND GARAGE FLOOR</p> <p>4" MIN. C.I.P. CONCRETE SLAB ON GRADE, REINFORCING & THICKNESS PER STRUCT. 2" SAND BED 10 MIL. MINIMUM THICKNESS POLY SHEETING VAPOR/MOISTURE BARRIER 4" THICK CRUSHED ROCK BASE COMPACTED SUBGRADE OR ENGINEERED BACKFILL</p> <p>NOTE: VERIFY SLAB & SUBGRADE DESIGN WITH STRUCTURAL & GEOTECHNICAL RECOMMENDATIONS PRIOR TO INSTALLATION</p>
F2	<p>TYPICAL FLOOR - ENTRY AND UPPER FLOOR</p> <p>FLOORING PER PLANS FLOOR SHEATHING - TYPE, THICKNESS, AND FASTENING PER STRUCTURAL WOOD JOIST, SIZE AND SPACING PER STRUCTURAL OPTIONAL R-19 SOUND ATTENUATION BATT INSULATION FOR INCREASED ACOUSTIC PERFORMANCE. GWB CEILING PER PLAN</p> <p>NOT SHOWN: CONTINUOUS BEAD OF ACOUSTIC SEALANT AT PERIMETER OF WALL MEMBRANE WHERE PLANE MEETS ADJACENT WALLS</p>

MARK	ROOF/CEILING ASSEMBLY COMPONENTS
R1	<p>TYPICAL ROOF</p> <p>ROOFING MEMBRANE PER PLAN TAPERED INSULATION SLOPED PER PLAN 1" MIN ROOF SHEATHING PER STRUCTURAL 2" SPRAY FOAM INSULATION (MIN. R-10) R-30 FIBERGLASS INSULATION (BATT OR BLOWN-IN) TJI PER STRUCTURAL AT 24" O.C.</p> <p>(1) LAYERS 1/2" GYPSUM W DRYWALL SCREWS 24" OC.</p> <p>NOTE: Joints shall have L-rating measured at .30" of water in both ambient temperature and elevated temperature tests, and shall not exceed 1 & 2 per IBC714.5</p>
R2	<p>FLAT ROOF/DECK @ UPPER LEVEL- 2x WOOD RAFTERS</p> <p>PAVERS ON PEDESTALS AC39 TESTED ROOFING MEMBRANE - DURADECK OR EQUIVALENT TAPERED INSULATION SLOPED PER PLAN 1" MIN. ROOF SHEATHING PER STRUCTURAL APPLIED AT RT ANGLES TO TRUSSES W/ 8d NAILS 2" SPRAY FOAM INSULATION (MIN. R-10) R-30 FIBERGLASS INSULATION (BATT OR BLOWN-IN) 2x ROOF JOISTS PER STRUCTURAL (1) LAYER 5/8" GYPSUM WALLBOARD DRYWALL SCREWS 12" OC.</p>
R3	<p>FLAT ROOF @ GARAGE- TJI</p> <p>ROOFING MEMBRANE PER PLAN TAPERED INSULATION SLOPED PER PLAN 1" MIN. ROOF SHEATHING PER STRUCTURAL APPLIED AT RT ANGLES TO TRUSSES W/ 8d NAILS ROOF TJI PER STRUCTURAL</p> <p>(1) LAYER TYPE "X" 5/8" GWB</p>



PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

CLIENT
Timothy & Elen Paek

2	Comment 2	11/26/19
No.	Description	Date

REVISIONS

DRAWING STATUS

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



ARCHITECTURE

600 108th Ave NE
Suite 108
Bellevue WA 98004

425.559.7888
contact@mzaurus.com

STAMP

DRAWING TITLE
FLOOR & ROOF/CEILING TYPES

DRAWN Author
DESIGNED Designer

DATE 08/16/19

GRAPHIC SCALE
1" = 1'-0"

PROJECT NO.
18-009

DRAWING NO. A7.2
REVISION NO. 2

General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

CRITERIA

- 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2015 EDITION).
2. DESIGN LOADING CRITERIA: RESIDENTIAL - ONE AND TWO-FAMILY DWELLINGS
FLOOR LIVE LOAD 40 PSF
MISCELLANEOUS LOADS DECKS 60 PSF
DEFLECTION CRITERIA
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240
ENVIRONMENTAL LOADS
SNOW Ce=1.0, Is=1.0, Ct=1.1, Pg=25 PSF, Pf=20 PSF
WIND Gcpi=0.18, 110 MPH, RISK CATEGORY II, EXPOSURE "C"
EARTHQUAKE . ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE
LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS
SITE CLASS-D, Ss=137, Sds=91, S1=53, SD1=53, Cs=0.140
SDC D, Ie=1.0, R=6.5
SEE PLANS FOR ADDITIONAL LOADING CRITERIA
3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION.
4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK.
6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION.
8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION.
9. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.
GLUED LAMINATED MEMBERS
PLYWOOD WEB JOISTS
STRUCTURAL STEEL
APPROVED SETS OF ALL SHOP DRAWINGS SHALL ALSO BE SUBMITTED TO THE BUILDING DEPARTMENT.
10. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR.

QUALITY ASSURANCE

- 11. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER.
STRUCTURAL STEEL FABRICATION AND ERECTION PER AISC 360
PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS.
CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.
12. STRUCTURAL OBSERVATION SHALL BE PERFORMED IN ACCORDANCE WITH SECTIONS 1704.6 OF THE INTERNATIONAL BUILDING CODE FOR THE FOLLOWING BUILDING ELEMENTS:
LIGHT FRAMED SHEAR WALLS
HOLD-DOWNS
THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD ADEQUATE NOTICE TO SCHEDULE APPROPRIATE SITE VISITS FOR STRUCTURAL OBSERVATION.
STRUCTURAL OBSERVATION MEANS THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM, FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS, AT SIGNIFICANT CONSTRUCTION STAGES AND AT COMPLETION OF THE STRUCTURAL SYSTEM.
THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, TO PERFORM STRUCTURAL OBSERVATION.

GEOTECHNICAL

- 13. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL.
ALLOWABLE SOIL PRESSURE 1500 PSF
LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) 55 PCF/35 PCF
ALLOWABLE PASSIVE EARTH PRESSURE (FS OF 1.5 INCLUDED) 300 PCF
COEFFICIENT OF FRICTION (FS OF 1.5 INCLUDED) 0.3
SEISMIC SURCHARGE PRESSURE (UNIFORM LOAD) 7H PSF

RENOVATION

- 14. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION.
15. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK.
16. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

- 17. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES.
18. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618.
19. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI.
20. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-11.

- 21. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-11.
NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
22. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
23. CONCRETE WALL REINFORCING-PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:
6" WALLS #4 @ 16 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN
8" WALLS #4 @ 12 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN
24. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS.
25. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS.
26. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037.
27. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "AT-XP" AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY.
28. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY.
29. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:
A. AISC 360 AND SECTION 2205.2 OF THE INTERNATIONAL BUILDING CODE.
B. APRIL 14, 2010 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES AMENDED AS FOLLOWS:
30. WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, FY = 50 KSI.
31. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
32. ALL STEEL EXPOSED TO THE WEATHER OR IN CONTACT WITH GROUND SHALL BE CORROSION PROTECTED BY GALVANIZATION OR PROVIDED WITH EXTERIOR PAINT SYSTEM, UNLESS OTHERWISE NOTED.
33. SHOP PRIME ALL STEEL EXCEPT:
A. STEEL ENCASED IN CONCRETE.
B. SURFACES TO BE WELDED.
C. CONTACT SURFACES AT HIGH-STRENGTH BOLTS.
D. MEMBERS TO BE GALVANIZED.
E. MEMBERS WHICH WILL BE CONCEALED BY INTERIOR FINISHES.
F. SURFACES TO RECEIVE SPRAYED FIREPROOFING.
G. SURFACES TO RECEIVE OTHER SPECIAL SHOP PRIMERS.
34. ALL A-325N CONNECTION BOLTS NEED ONLY BE TIGHTENED TO A SNUG TIGHT CONDITION.
35. ALL ANCHORS EMBEDDED IN MASONRY OR CONCRETE SHALL BE A307 HEADED BOLTS OR A36 THREADED ROD WITH AN ASTM 563 HEAVY HEX NUT TACK WELDED ON THE EMBEDDED END.
36. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES.

ANCHORAGE

STEEL

General Structural Notes Continued on S1.2



Table with 2 columns: Field, Value. Includes DRAWN: SJB, DESIGN: RJA, CHECKED: RJA, APPROVED: ABB.

Table with 2 columns: Revision #, Description, Date. Includes 1. Permit Response Aug. 6, 2019 and 2. Permit Response #2 Oct. 24, 2019.

PROJECT TITLE: Paek Residence
2215 80th Ave SE
Mercer Island, WA 98040

ARCHITECT: MZA Architecture
600 108th Ave NE, Suite 108
Bellevue, WA 98004
PH 425.559.7888

ISSUE: Permit
SHEET TITLE: General Structural Notes

SCALE:
DATE: Sept. 4, 2018
PROJECT NO: 10604-2018-01-00
SHEET NO:



8/6/19
 DRAWN: SJB
 DESIGN: RJA
 CHECKED: RJA
 APPROVED: ABB

REVISIONS:

1	Permit Response	Aug. 6, 2019
2	Permit Response #2	Oct. 24, 2019

DPD:

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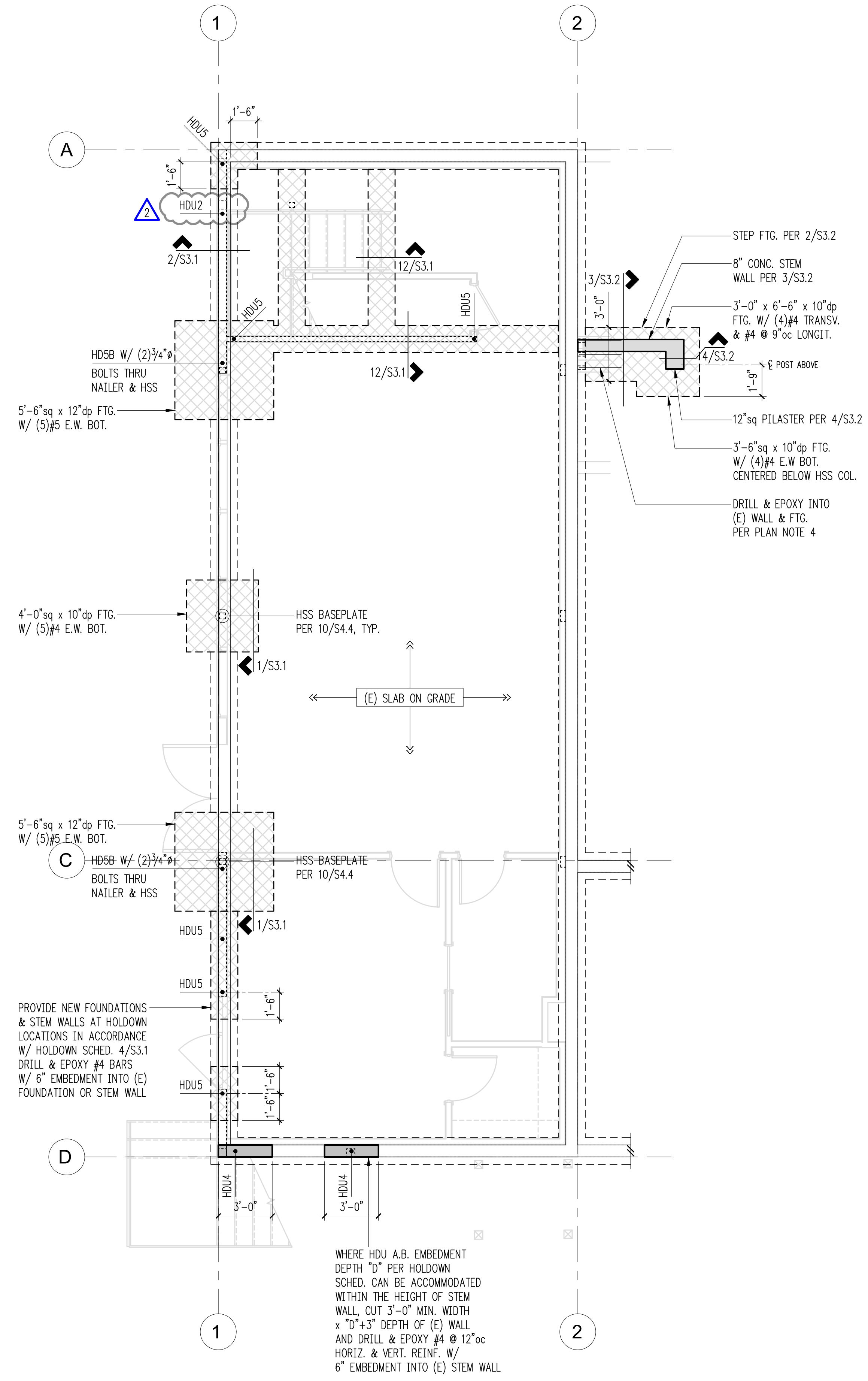
ISSUE:

Permit
 SHEET TITLE:

Basement Foundation Plan

SCALE: 1/4" = 1'-0" U.N.O.
 DATE: Sept. 4, 2018
 PROJECT NO: 10604-2018-01-00
 SHEET NO:

S2.1



Legend

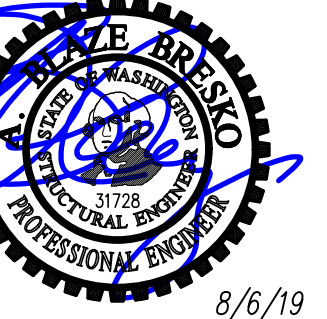
	EXISTING FOOTING BELOW
	NEW FOOTING BELOW
	STRUCTURAL WALL OR POST ABOVE
	HOLDOWN PER 4/S3.1

Plan Notes

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- PROVIDE CORNER BARS PER DETAIL 1/S3.1 AT ALL WALL AND FOOTING INTERSECTIONS.
- PROVIDE EPOXY GROUTED #4 x 2'-4" DOWELS EMBEDDED A MINIMUM OF 4" INTO EXISTING CONCRETE TO MATCH NEW HORIZONTAL AND LONGITUDINAL REINFORCING. TYPICAL WHERE NEW CONCRETE WALL OR FOOTING TERMINATES AT EXISTING CONCRETE. EPOXY GROUT PER GENERAL STRUCTURAL NOTES.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

WHERE HDU A.B. EMBEDMENT DEPTH "D" PER HOLDOWN SCHED. CAN BE ACCOMMODATED WITHIN THE HEIGHT OF STEM WALL, CUT 3'-0" MIN. WIDTH x "D"+3" DEPTH OF (E) WALL AND DRILL & EPOXY #4 @ 12"oc HORIZ. & VERT. REINF. W/ 6" EMBEDMENT INTO (E) STEM WALL





8/6/19

DRAWN: SJB
DESIGN: RJA
CHECKED: RJA
APPROVED: ABB

REVISIONS:
1 Permit Response Aug. 6, 2019
2 Permit Response #2 Oct. 24, 2019

DPD:

PROJECT TITLE:

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2215 80th Ave SE
Mercer Island, WA 98040

ARCHITECT:
MZA Architecture
600 108th Ave NE, Suite 108
Bellevue, WA 98004
PH 425.559.7888

ISSUE:

Permit

SHEET TITLE:

**Main Floor Framing &
Crawl Space Foundation
Plan**

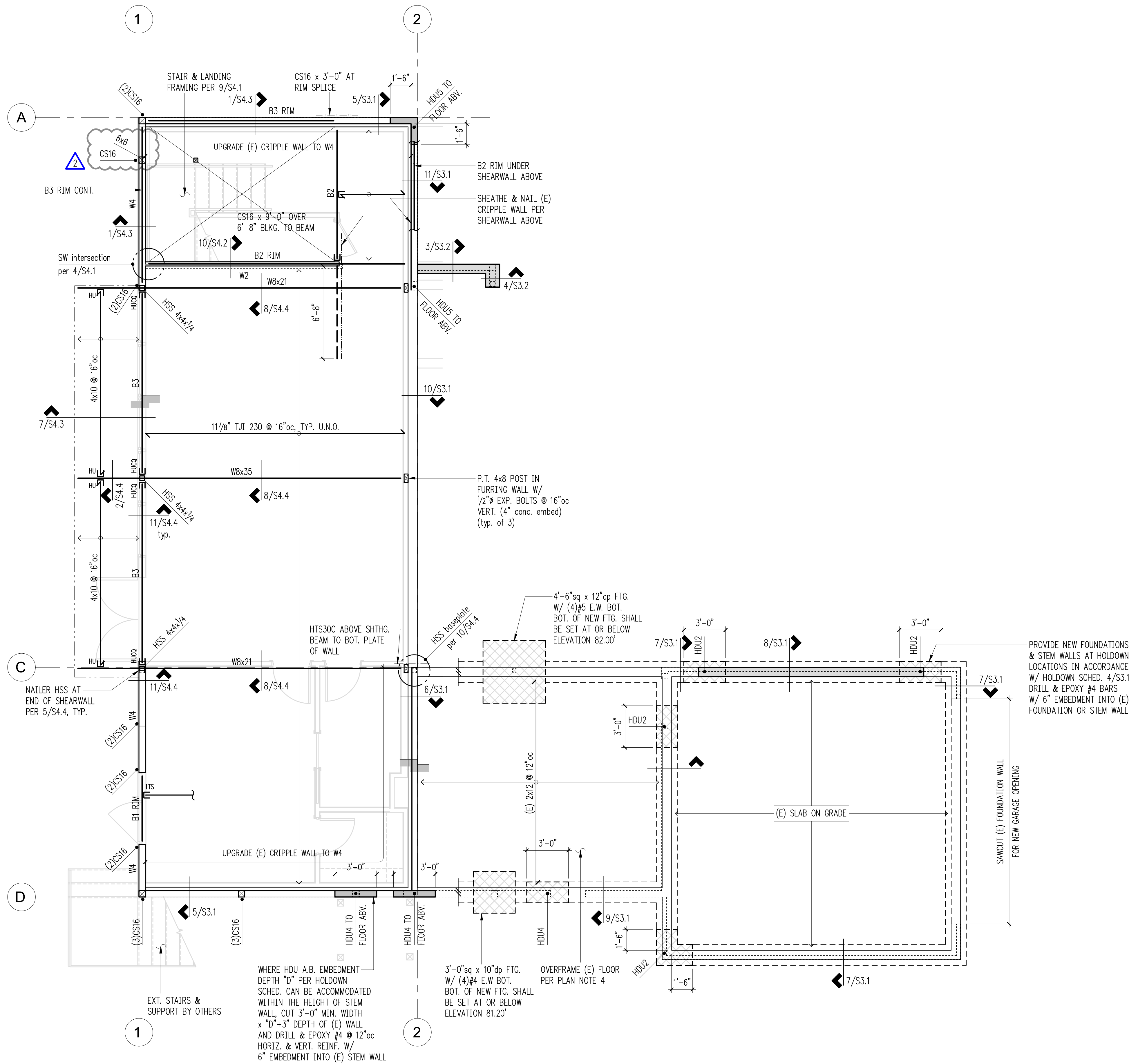
SCALE: 1/4" = 1'-0" U.N.O.

DATE: Sept. 4, 2018

PROJECT NO: 10604-2018-01-00

SHEET NO:

S2.2



Beam Schedule

MARK	BEAM	BRG. STUDS	HANGER
B1	LSL 1 3/4x11 7/8	2	HU11
B2	LSL 3 1/2x11 7/8	3	HHUS410
B3	PSL 5 1/4x11 7/8	4	HHUS5.50/10

Legend

- STRUCTURAL WALL BELOW
- NON-STRUCTURAL WALL BELOW
- STRUCTURAL WALL OR POST ABOVE
- SHEARWALL PER 12/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- HEADER/BEAM PER PLAN
- HANGER
- CHANGE IN SHEATHING ELEVATION
- HOLD-DOWN PER 4/S3.1
- HOLD-DOWN STRAP PER 5/S4.1
- EXISTING FOOTING BELOW
- NEW FOOTING BELOW
- NEW STEM WALL BELOW

Plan Notes

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
3. NEW FLOOR AND ACCESSIBLE DECK SHEATHING SHALL BE 3/4" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). NAIL AT ALL FRAMED PANEL EDGES WITH 8d AT 6"oc AND TO ALL INTERMEDIATE FRAMING (FIELD) AT 12"oc.
4. NEW FLOOR JOISTS SHALL BE 11-7/8" TJI 230 @ 16"oc. OVER-FRAME EXISTING 2x12 JOISTS WITH 5/8" PLYWOOD TO MATCH NEW AND EXISTING FLOOR LEVELS.
5. HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE FRAMED WITH FLUSH LSL 1-3/4 X 11-7/8 RIM. DO NOT SPLICE RIM OVER OPENING. HANG JOISTS FROM RIM OVER OPENINGS WITH ITS SERIES HANGERS. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL RIMS UNLESS NOTED OTHERWISE ON PLANS.
6. PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
7. W# INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE, 12/S4.1, FOR CONSTRUCTION REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
8. (X)CS16 INDICATES VERTICAL HOLD-DOWN STRAP AT END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QUANTITY. SEE DETAIL 5/S4.1 FOR INSTALLATION REQUIREMENTS.
9. HDUx INDICATES VERTICAL HOLD-DOWN FROM POST ABOVE WITH A36 ALL-THREAD EPOXY GROUTED PER ANCHOR BOLT DIAMETER AND EMBED DEPTH IN HOLD-DOWN SCHEDULE.
10. MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
11. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS VERTICAL GRAIN BLOCKING TO MATCH POST ABOVE FOR FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
12. SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S4.1.
13. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Main Floor Framing/Crawl Space Foundation Plan

Scale: 1/4" = 1'-0"





DRAWN: SJB
 DESIGN: RJA
 CHECKED: RJA
 APPROVED: ABB

REVISIONS:
 1 Permit Response Aug. 6, 2019
 2 Permit Response #2 Oct. 24, 2019

DPD:

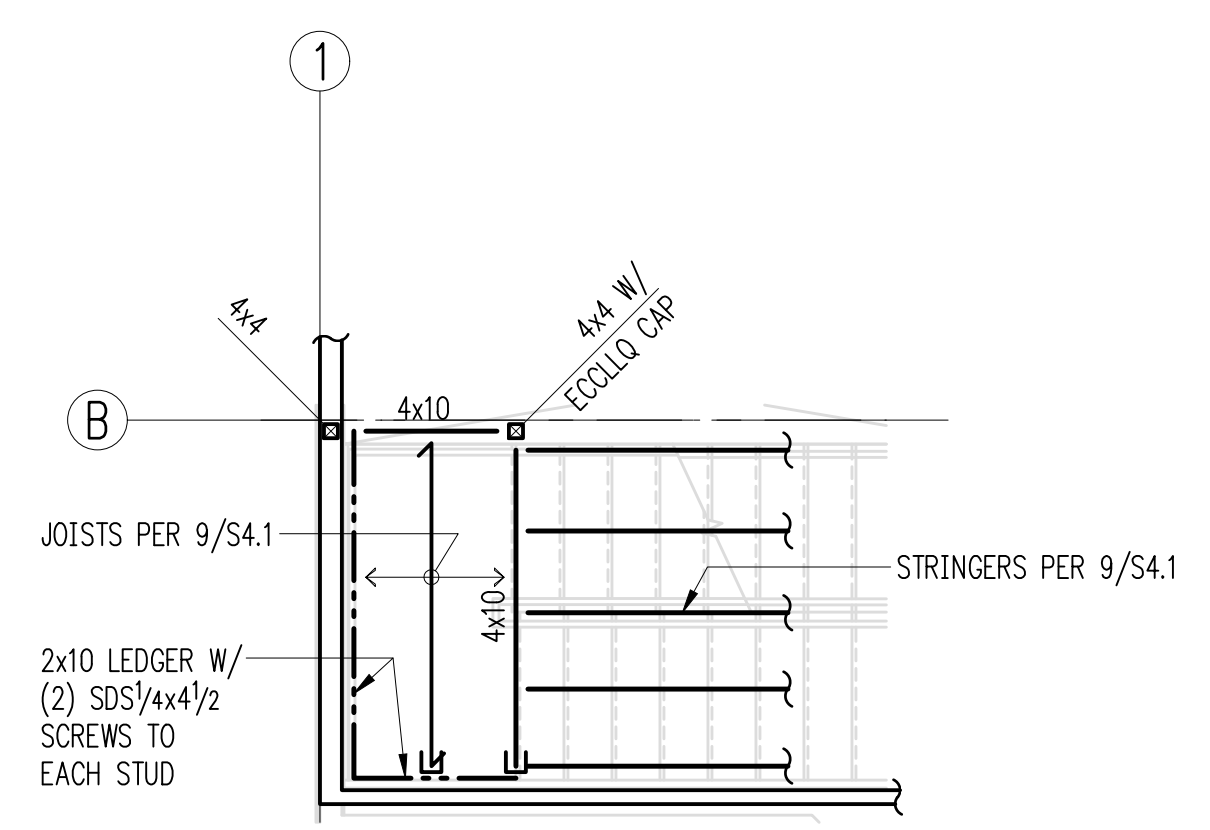
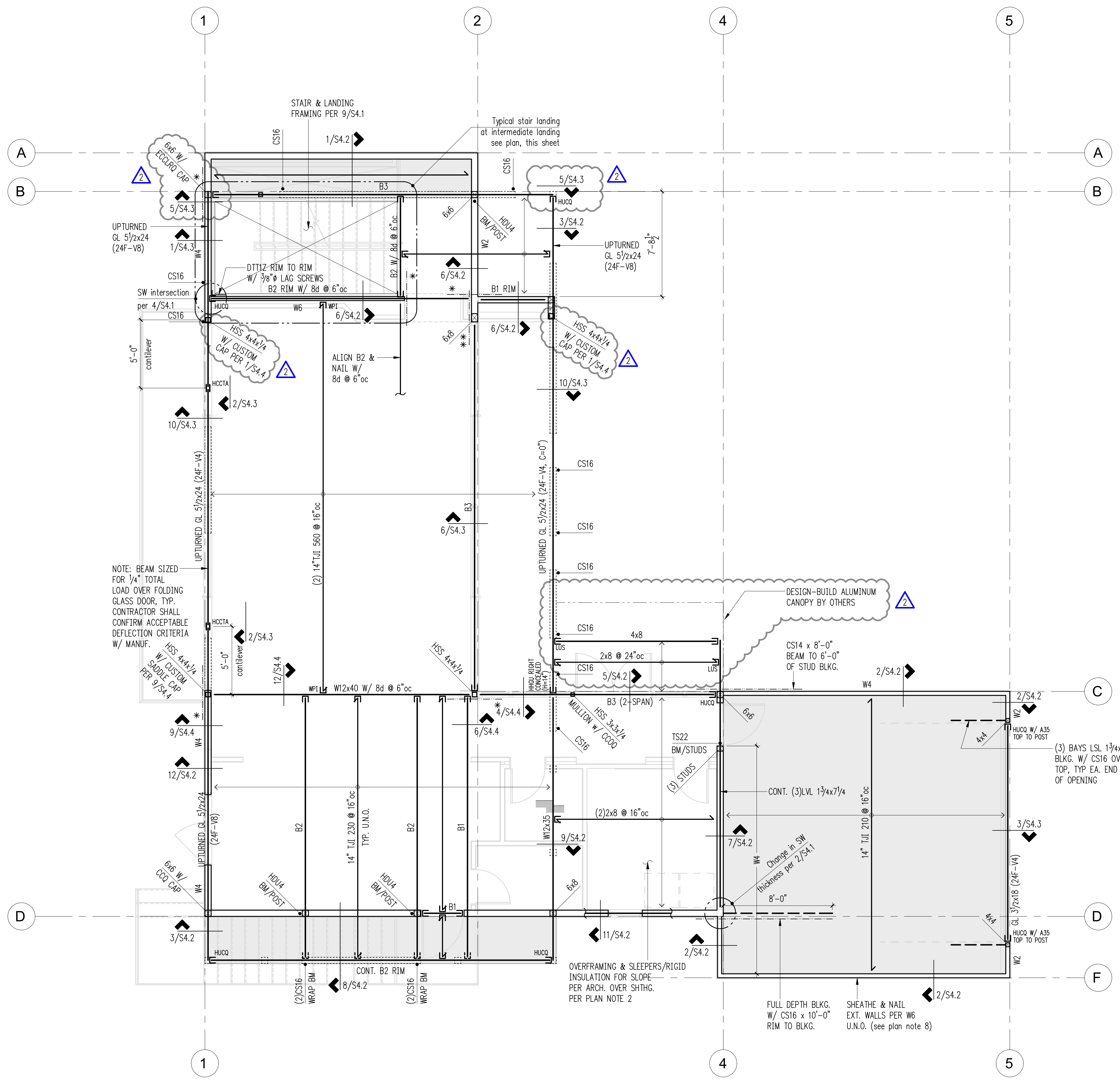
PROJECT TITLE:

Paek Residence
 2215 80th Ave SE
 Mercer Island, WA 98004

ARCHITECT:
MZA Architecture
 600 108th Ave NE, Suite 108
 Bellevue, WA 98004
 PH 425.559.7888

ISSUE:
Permit

SHEET TITLE:
Upper Floor Framing Plan
 SCALE: 1/4" = 1'-0" U.N.O.
 DATE: Sept. 4, 2018
 PROJECT NO: 10604-2018-01-00
 SHEET NO:



Typical Stair Framing at Intermediate Landing
 Scale: 1/4" = 1'-0"

Beam Schedule

MARK	BEAM	BRG. STUDS	HANGER
B1	LSL 1 3/4x14	2	HU14
B2	LSL 3/2x14	3	HHUS410
B3	PSL 5/4x14	4	HHUS5.50/10

- Legend**
- STRUCTURAL WALL BELOW
 - NON-STRUCTURAL WALL BELOW
 - STRUCTURAL WALL OR POST ABOVE
 - SHEARWALL PER 12/S4.1
 - SPAN DIRECTION
 - EXTENT OF JOISTS
 - HEADER/BEAM PER PLAN
 - HANGER (INVERTED)
 - CHANGE IN ELEVATION
 - HOLDOWN PER 5/S4.1
 - CS16 x 4'-0" FRAMING MEMBER TO NO. OF ASTERISKS = NO. OF STUDS
 - BLOCKED DIAPHRAGM PER PLAN NOTE 4

- Plan Notes**
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 - FLOOR AND ACCESSIBLE ROOF DECK SHEATHING SHALL BE 3/4" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). NAIL AT ALL FRAMED PANEL EDGES WITH 8d AT 6"oc AND TO ALL INTERMEDIATE FRAMING (FIELD) AT 12"oc.
 - LOW ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8d AT 6"oc AND TO ALL INTERMEDIATE FRAMING AT 12"oc.
 - AREAS SHADED ON PLAN INDICATED BLOCKED FLOOR DIAPHRAGM. PROVIDE 2x4 FLAT BLOCKING AT ALL UNFRAMED PANEL EDGES. NAIL ALL PANEL EDGES TO FLAT BLOCKING, FRAMING MEMBERS OR BOUNDARY MEMBERS (RIMS, DRAG STRUTS) WITH 8d AT 4"oc AND TO ALL INTERMEDIATE FRAMING (FIELD) AT 12"oc.
 - FLOOR JOISTS SHALL BE 14" TJI 230 @ 16"oc.
 - HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE FRAMED WITH FLUSH LSL 1-3/4 X 11-7/8 RIM, MINIMUM. DO NOT SPLICE RIM OVER OPENING. HANG JOISTS FROM RIM OVER OPENINGS WITH ITS SERIES HANGERS. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL RIMS UNLESS NOTED OTHERWISE ON PLANS.
 - PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
 - W# INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE, 12/S4.1, FOR CONSTRUCTION REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
 - (X)CS16 INDICATES VERTICAL HOLDOWN STRAP AT END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QUANTITY. SEE DETAIL 5/S4.1 FOR INSTALLATION REQUIREMENTS.
 - MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
 - ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS VERTICAL GRAIN BLOCKING TO MATCH POST ABOVE FOR FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
 - SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S4.1.
 - REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Upper Floor Framing Plan
 Scale: 1/4" = 1'-0"



DRAWN: SJB
 DESIGN: RJA
 CHECKED: RJA
 APPROVED: ABB

REVISIONS:
 1 Permit Response Aug. 6, 2019
 2 Permit Response #2 Oct. 24, 2019

DPD:

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ARCHITECT:
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 PH 425.559.7888

ISSUE:
 Permit

SHEET TITLE:

Roof Framing Plan

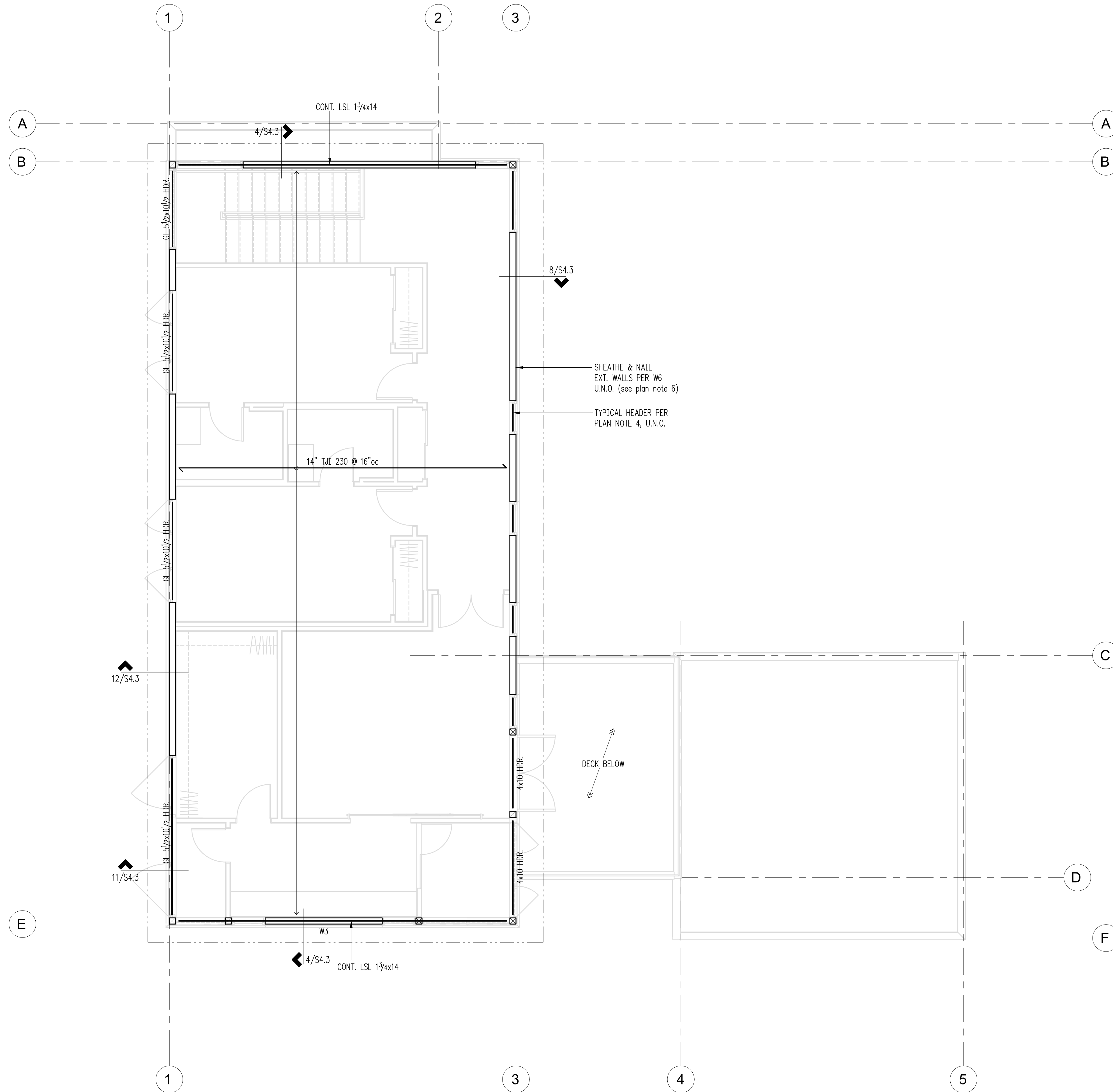
SCALE: 1/4" = 1'-0" U.N.O.

DATE: Sept. 4, 2018

PROJECT NO: 10604-2018-01-00

SHEET NO:

S2.4



Legend

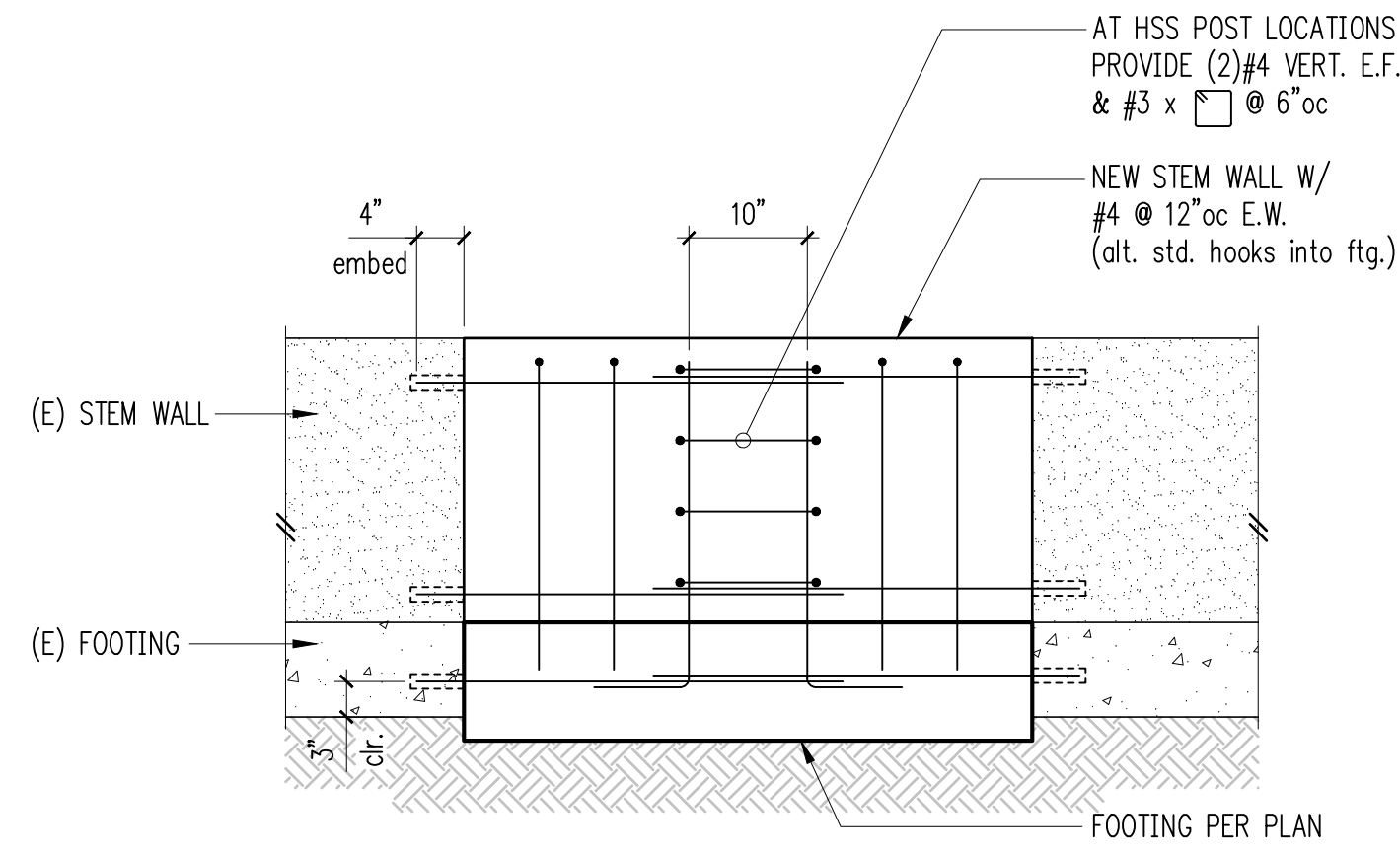
- STRUCTURAL WALL BELOW
- NON-STRUCTURAL WALL BELOW
- SHEARWALL PER 12/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- HEADER/BEAM PER PLAN
- HANGER

Plan Notes

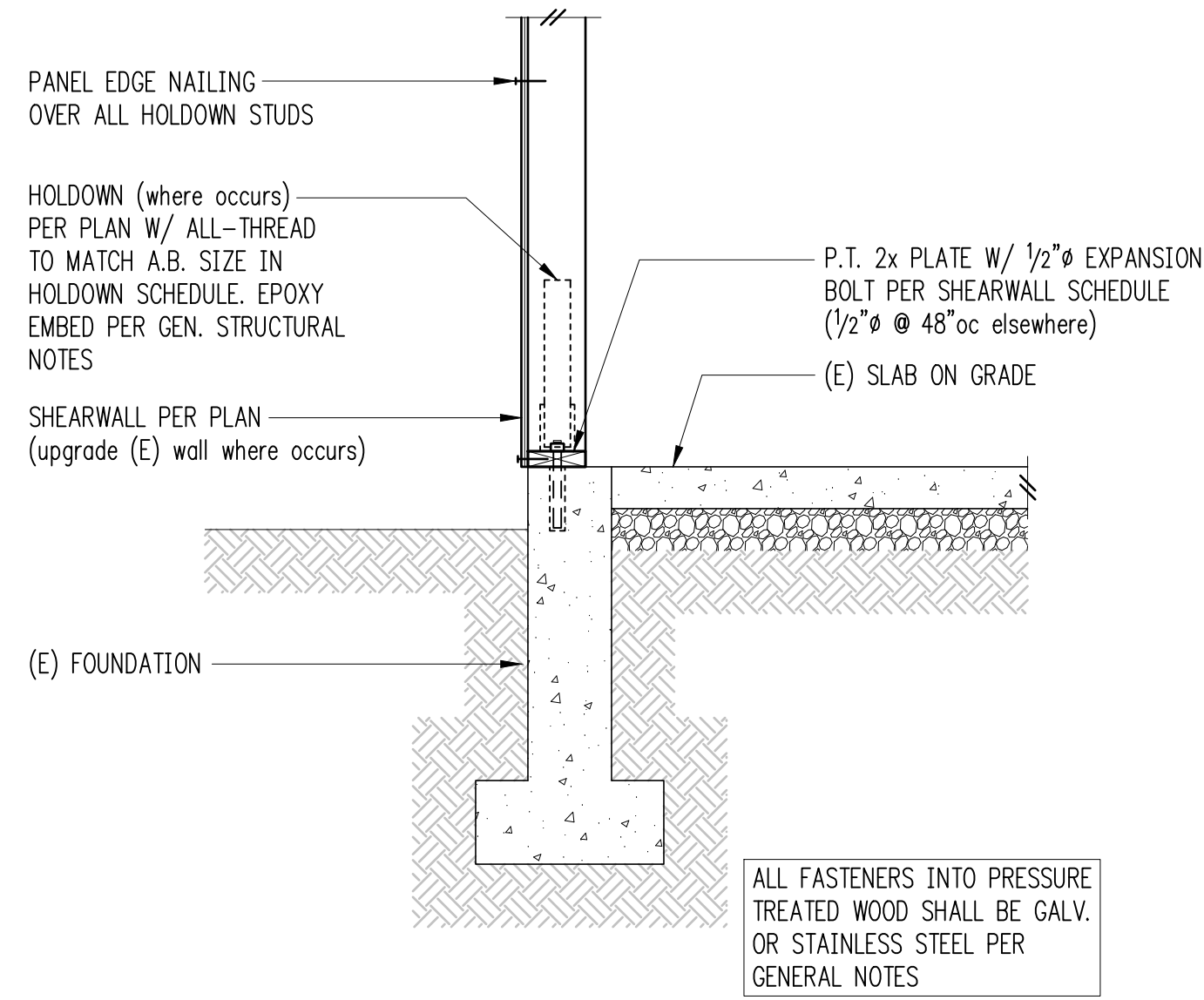
1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8d AT 6"oc AND TO ALL INTERMEDIATE FRAMING AT 12"oc.
3. ROOF FRAMING SHALL BE 14" TJI 230 @ 16"oc.
4. HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2) 2x10 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 6/S4.1 FOR TYPICAL INSTALLATION.
5. PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
6. W# INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE, 12/S4.1, FOR CONSTRUCTION REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
7. PROVIDE H2.5A HURRICANE TIE AT EACH TJI RAFTER WHERE IT BEARS ON EXTERIOR WALL.
8. MANUFACTURED LUMBER PRODUCTS (GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
9. SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S4.1.
10. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Roof Framing Plan
 Scale: 1/4" = 1'-0"

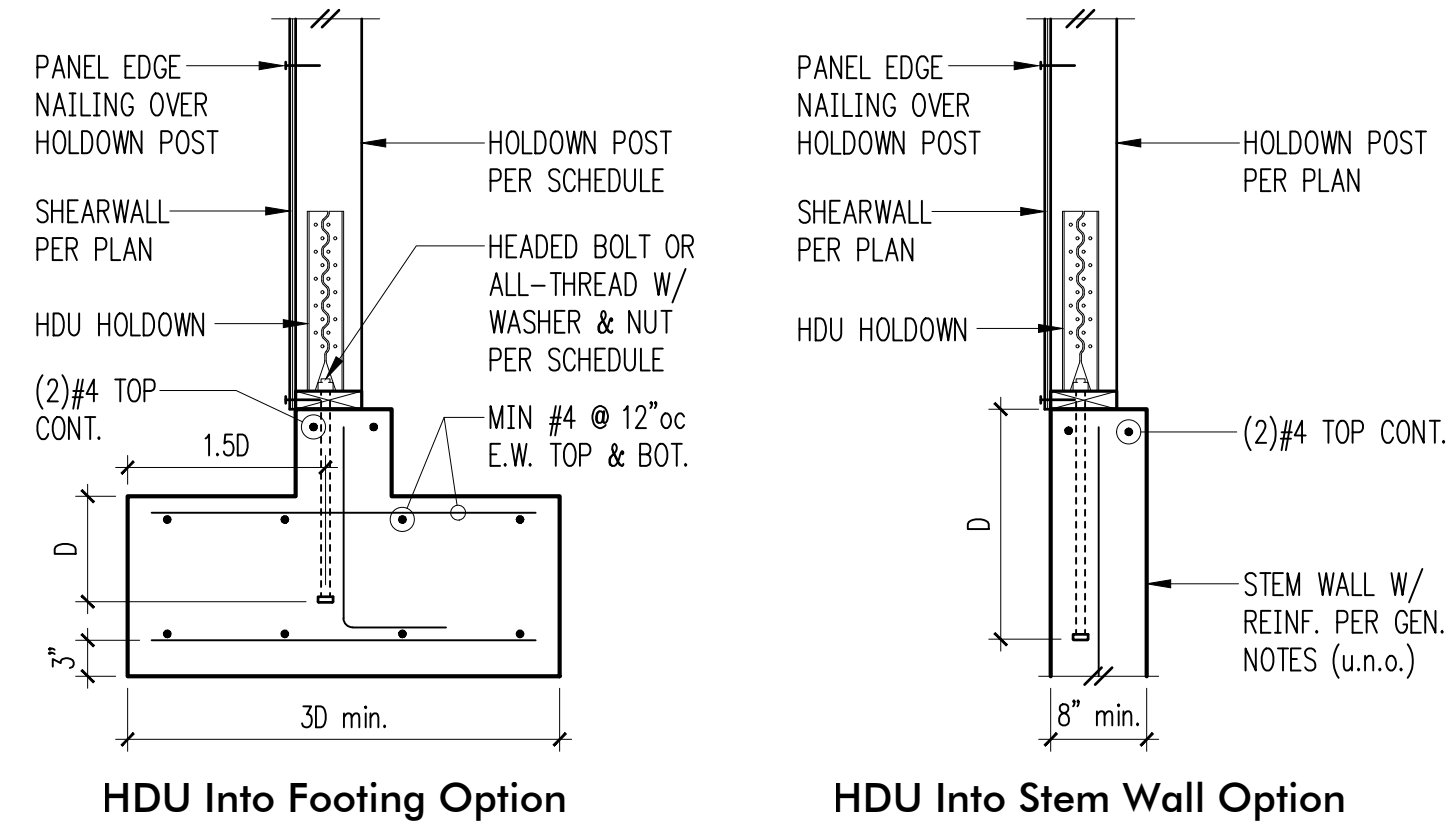




New to Existing Footings 1



Exterior Wall w/ Slab on Grade 2



HDU Into Footing Option

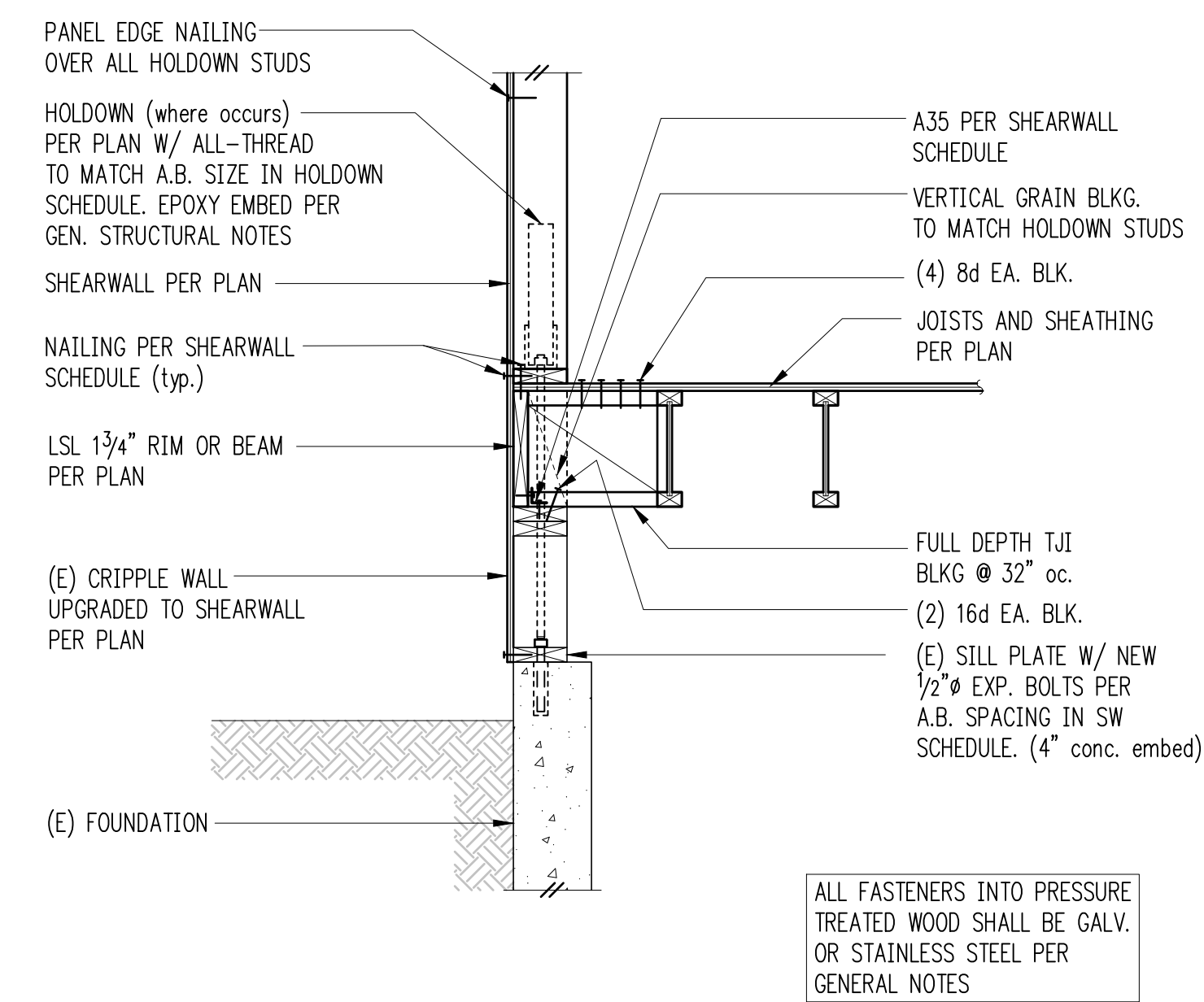
HDU Into Stem Wall Option

Holdown Schedule

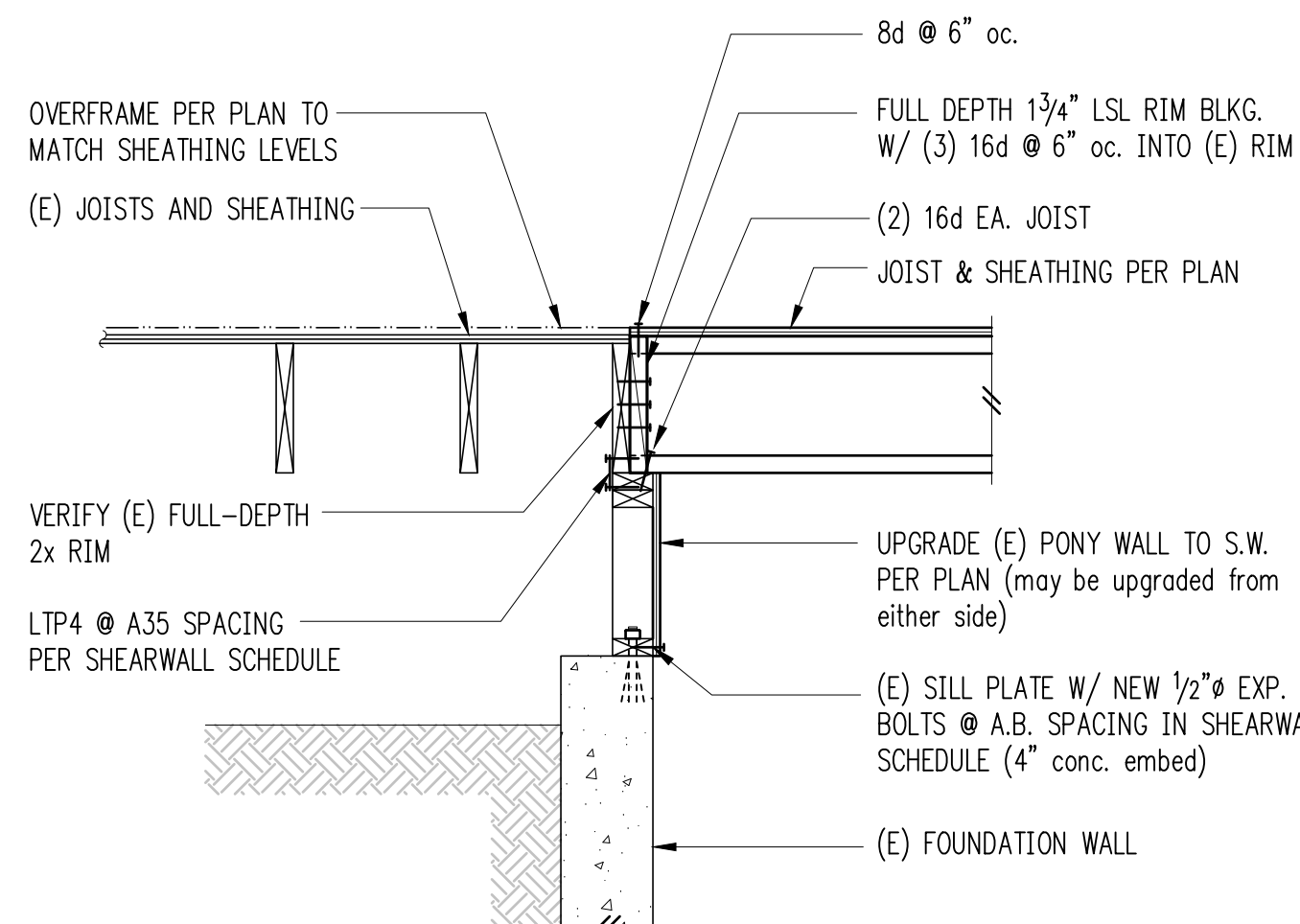
Plan Mark	Screws	Anchor Bolt	Min. A.B. Embed (D)		Holdown Post ①	
			Stem Wall	Footing	if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2/2"	5/8"φ	12"	4"	(2) 2x4	(2) 2x6
HDU4-SDS2.5	(10)SDS 1/4"x2/2"	5/8"φ	18"	6"	4x4	4x6
HDU5-SDS2.5	(14)SDS 1/4"x2/2"	5/8"φ	SB7/8x24	7"	4x4	4x6
HDU8-SDS2.5	(20)SDS 1/4"x2/2"	7/8"φ	SSTB28	8"	4x6	6x6
HDU11-SDS2.5	(30)SDS 1/4"x2/2"	1"φ	SB1x30	10"	4x8	6x6
HDU14-SDS2.5	(36)SDS 1/4"x2/2"	1"φ	N/A	12"	4x8	6x6

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

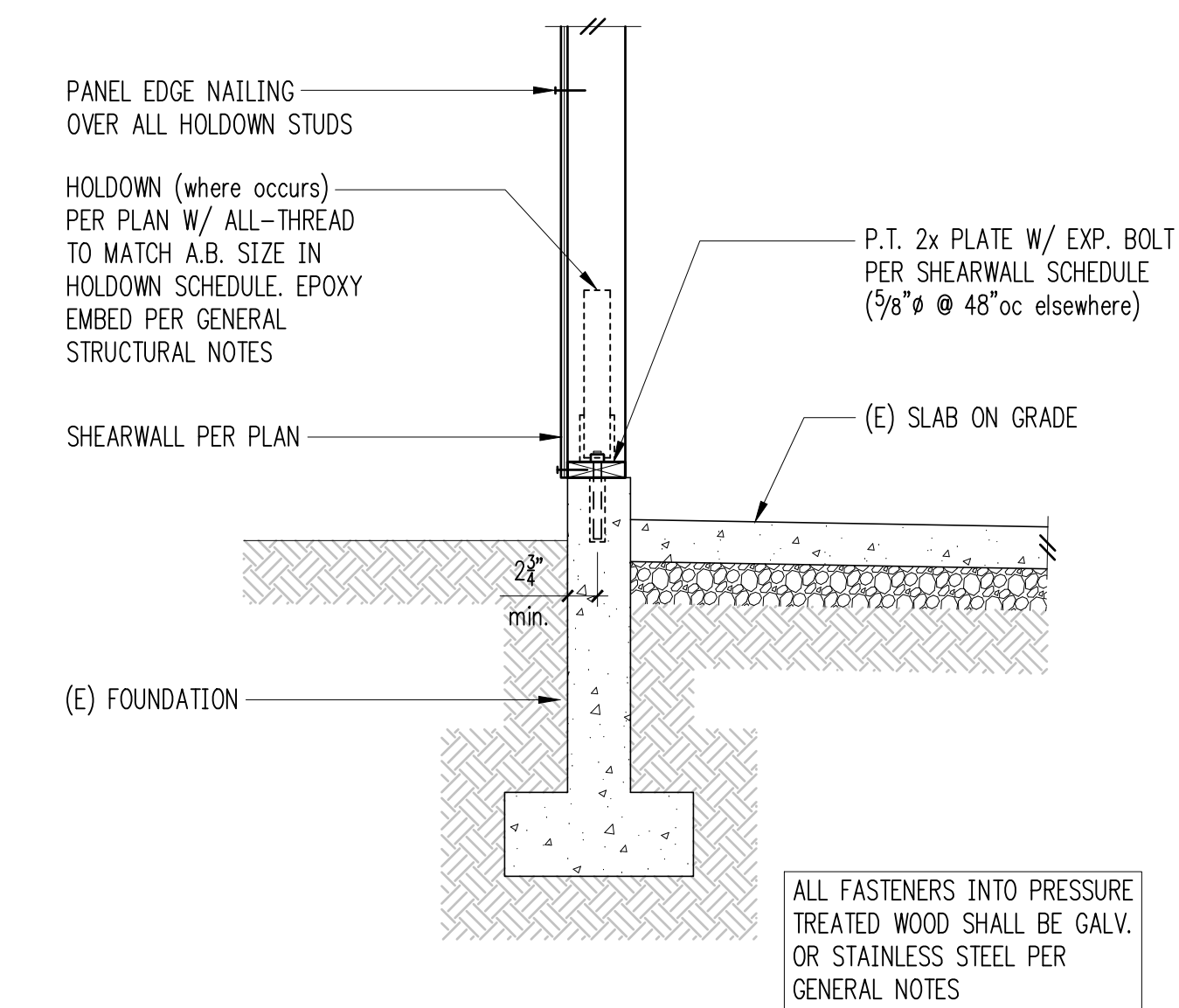
Typical HDU Holddown 4



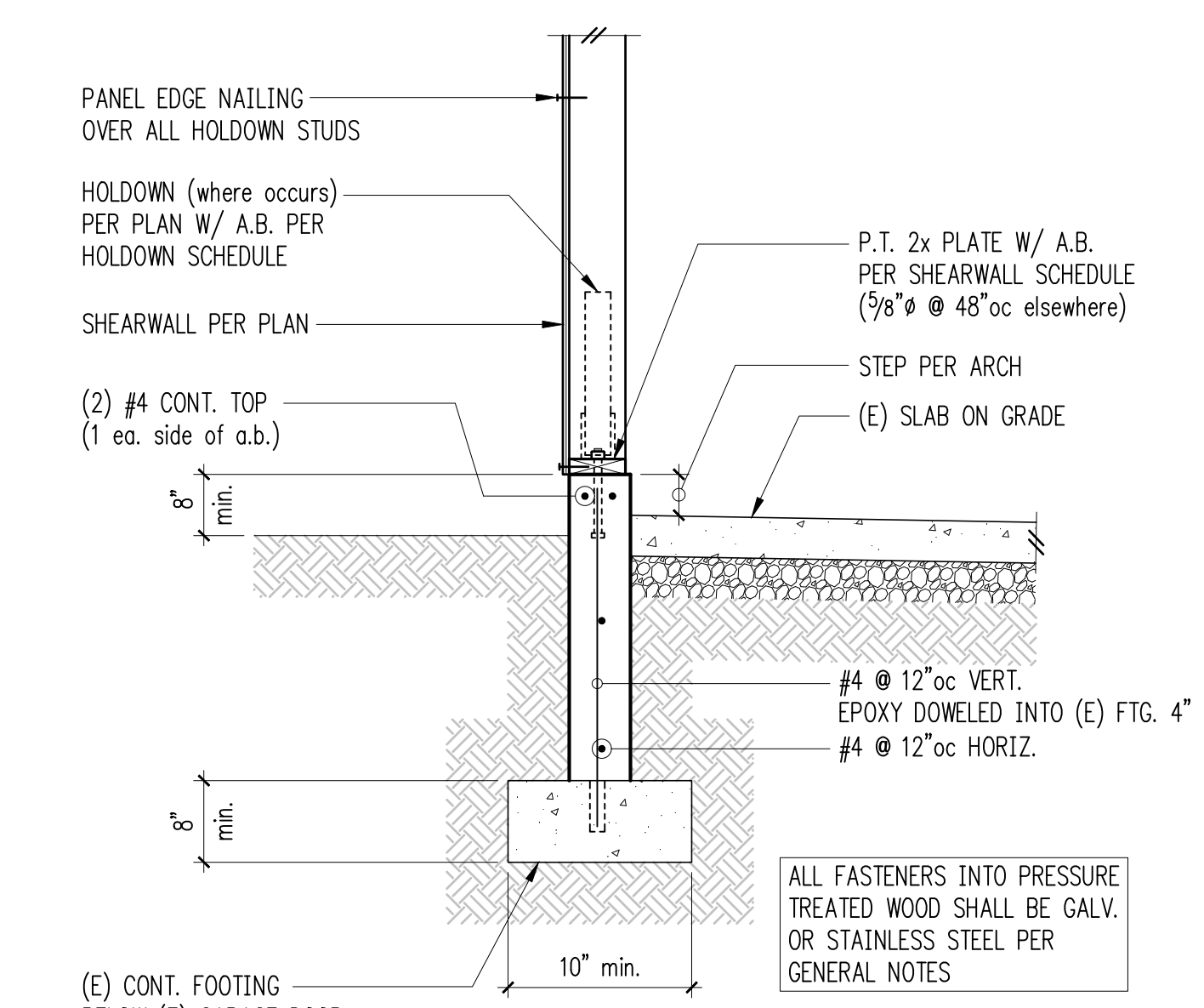
Exterior Framing at Basement w/ Cripple Wall 5



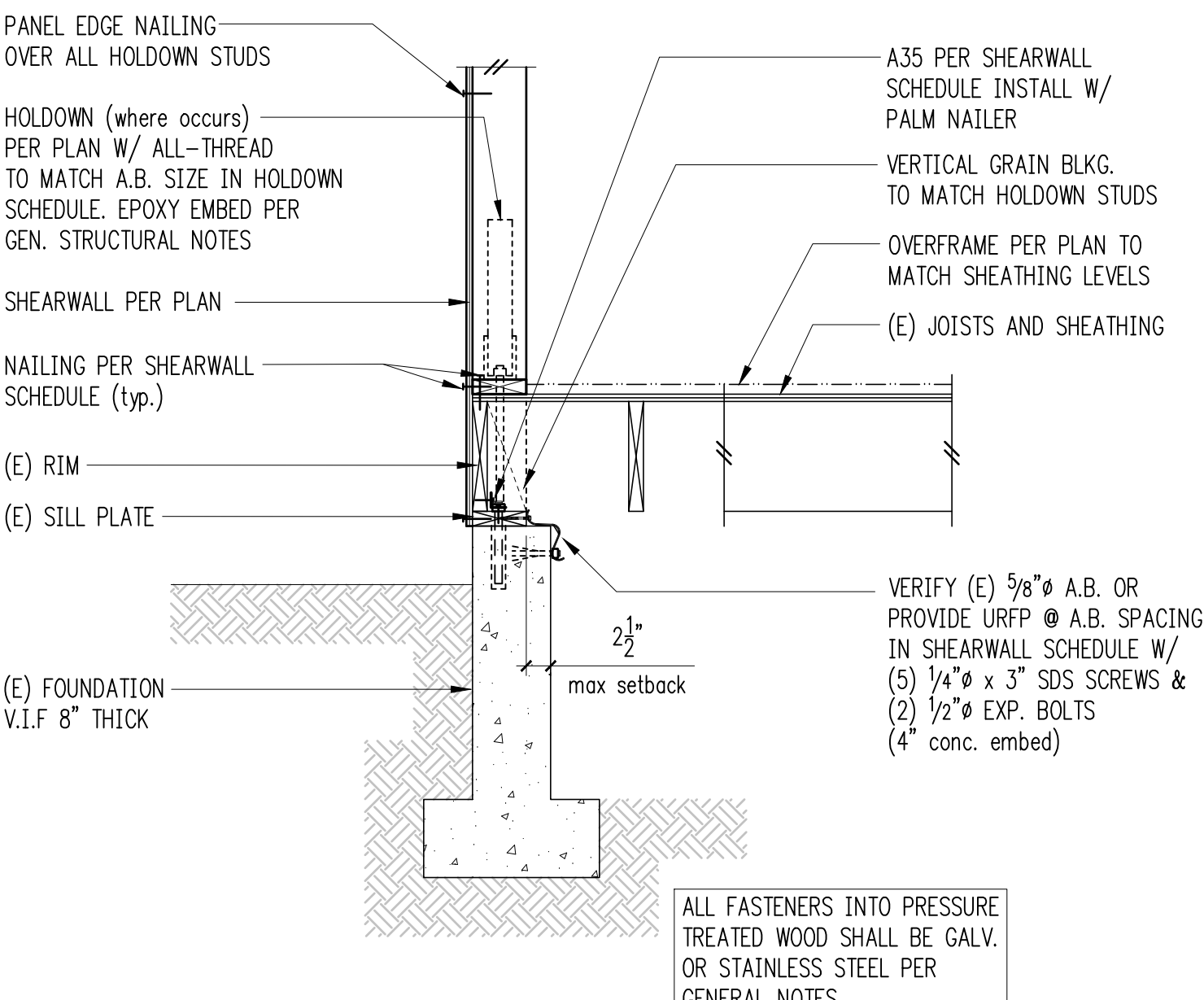
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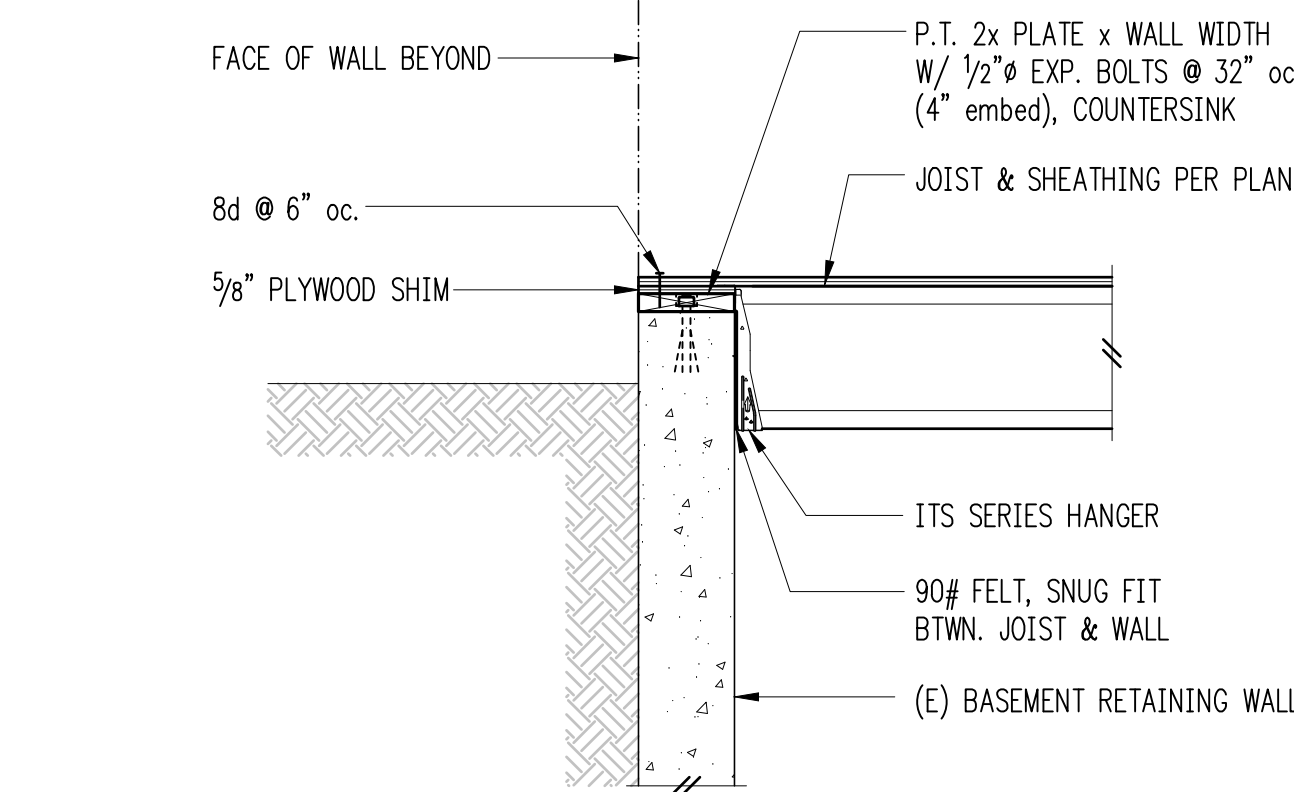
6" Garage Wall w/ Slab on Grade 7



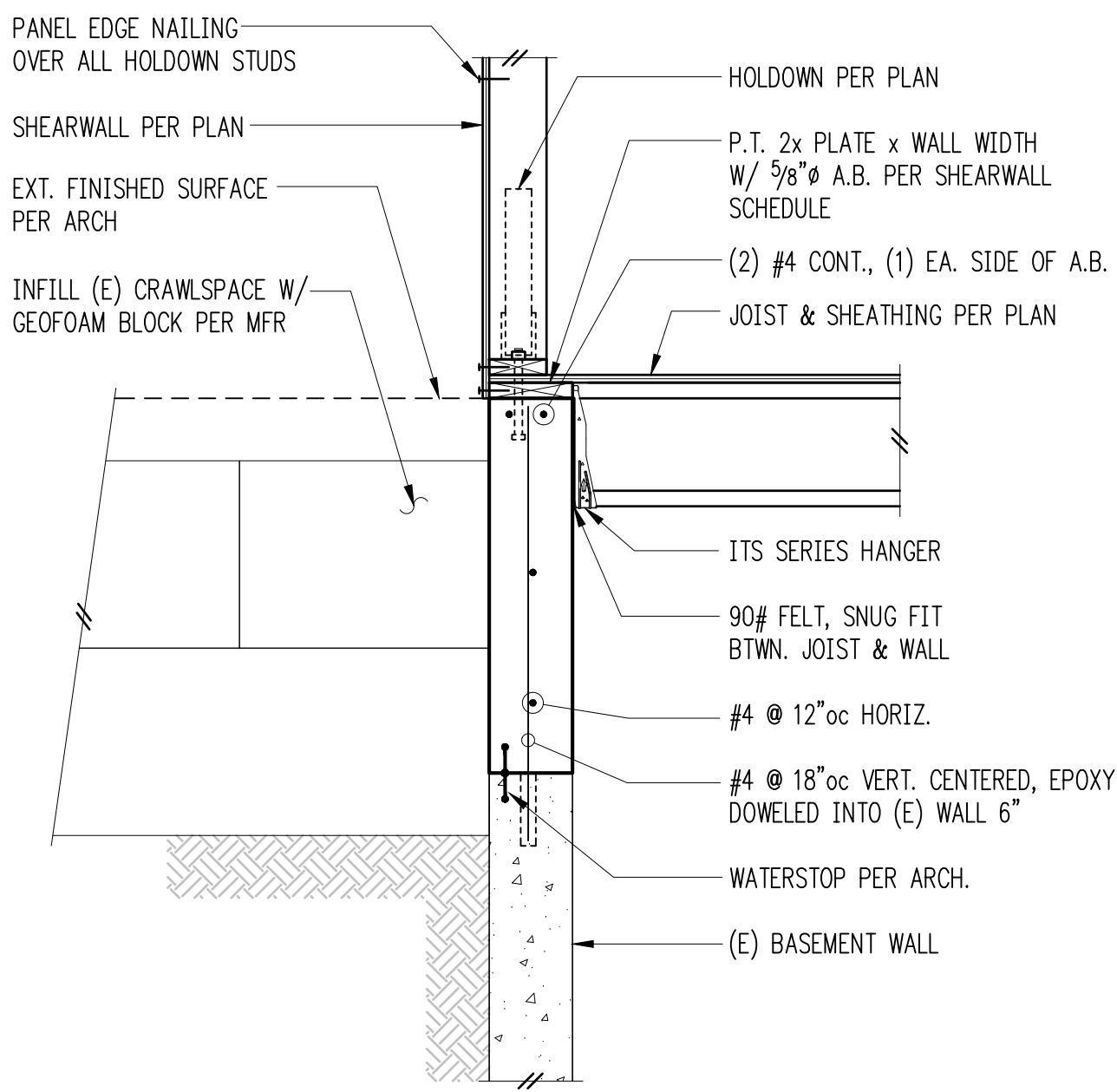
6" Garage Wall w/ Slab on Grade 8



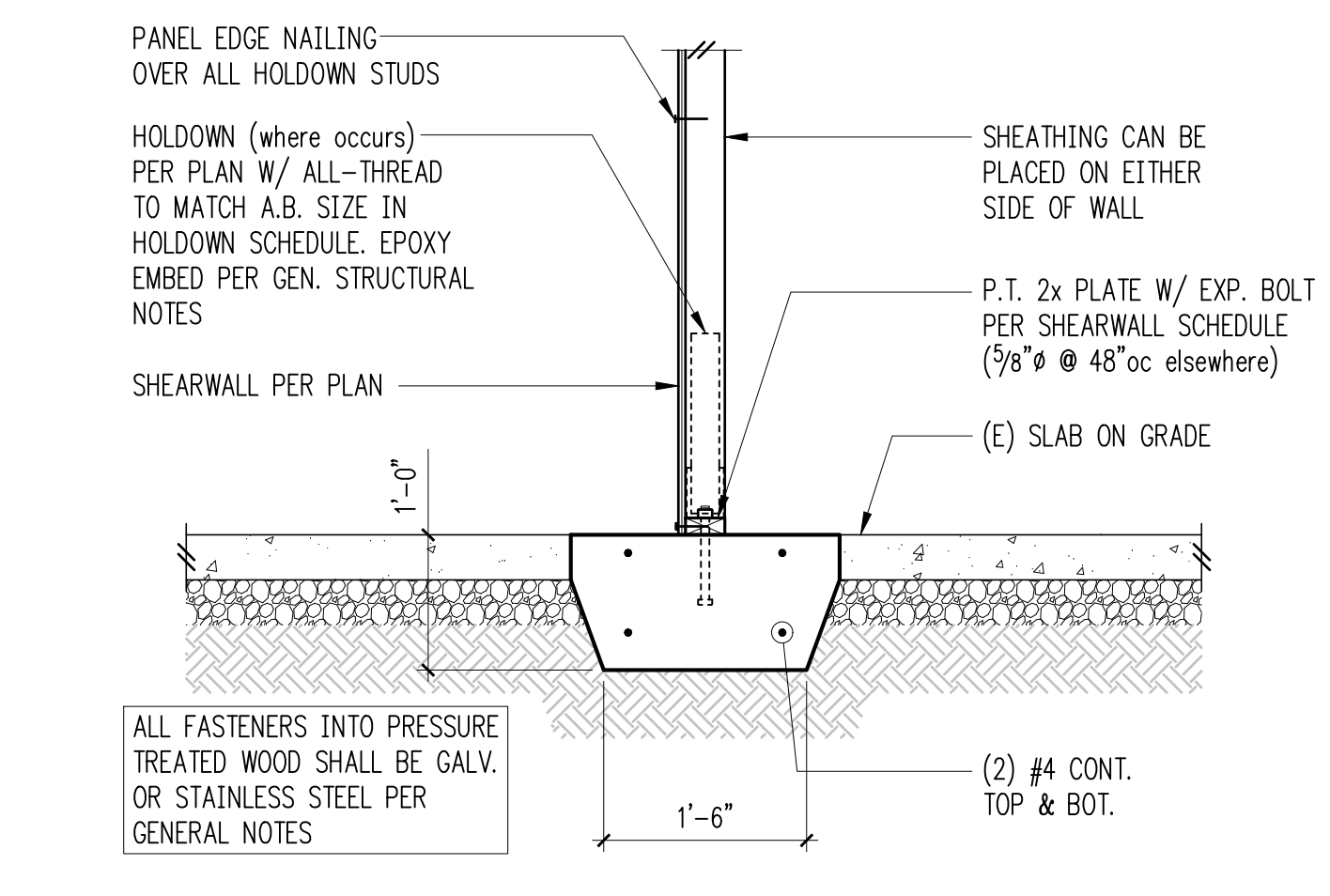
Exterior Framing at Crawl Space 9



10



11



Interior Wall w/ Thickened Slab 12



8/6/19

DRAWN: SJB
 DESIGN: RJA
 CHECKED: RJA
 APPROVED: ABB

REVISIONS:
 1 Permit Response Aug. 6, 2019
 2 Permit Response #2 Oct. 24, 2019

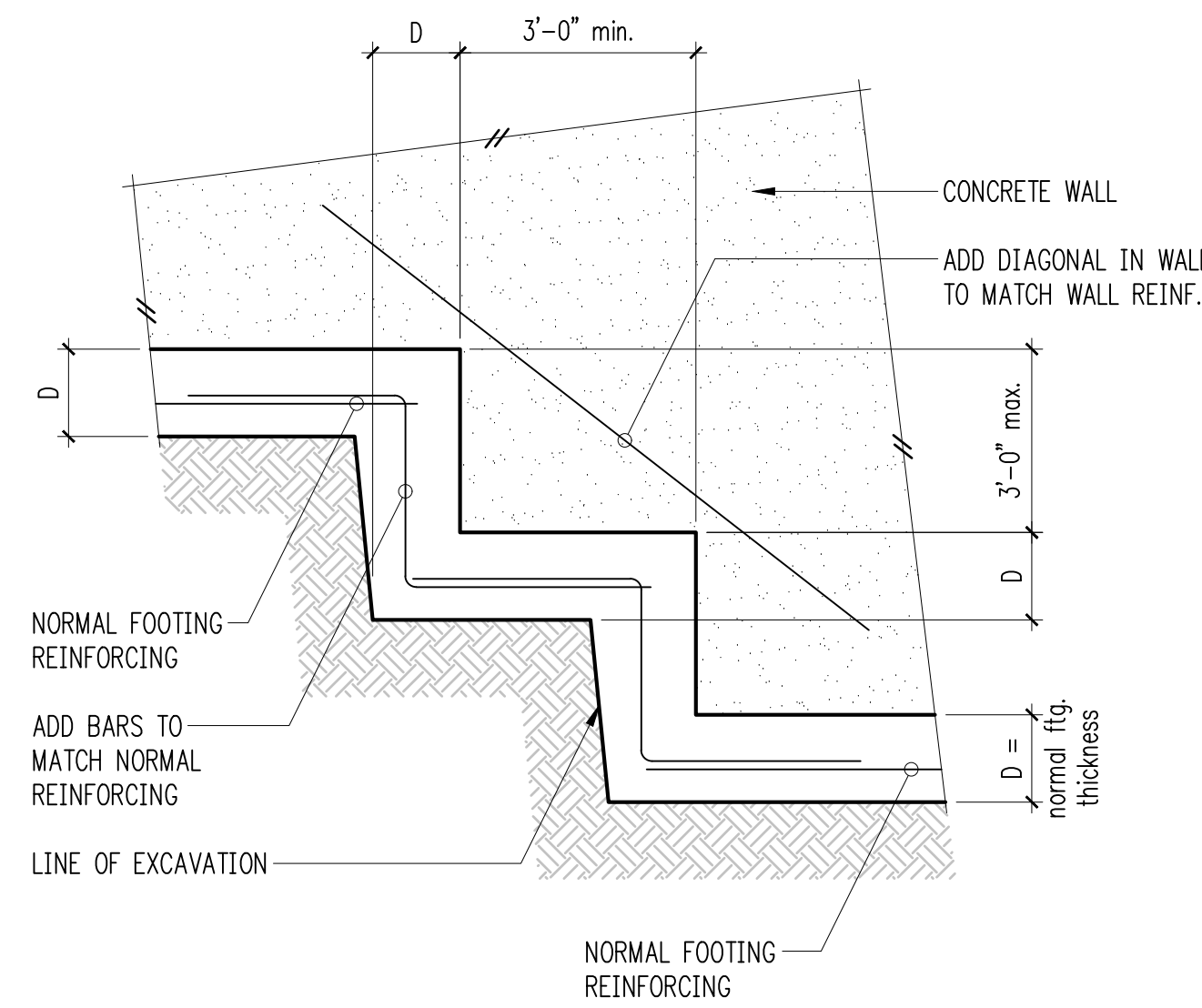
PROJECT TITLE:
 Paek Residence
 2215 80th Ave SE
 Mercer Island, WA 98040

ARCHITECT:
 MZA Architecture
 600 108th Ave NE, Suite 108
 Bellevue, WA 98004
 PH 425.559.7888

ISSUE:
 Permit
 SHEET TITLE:

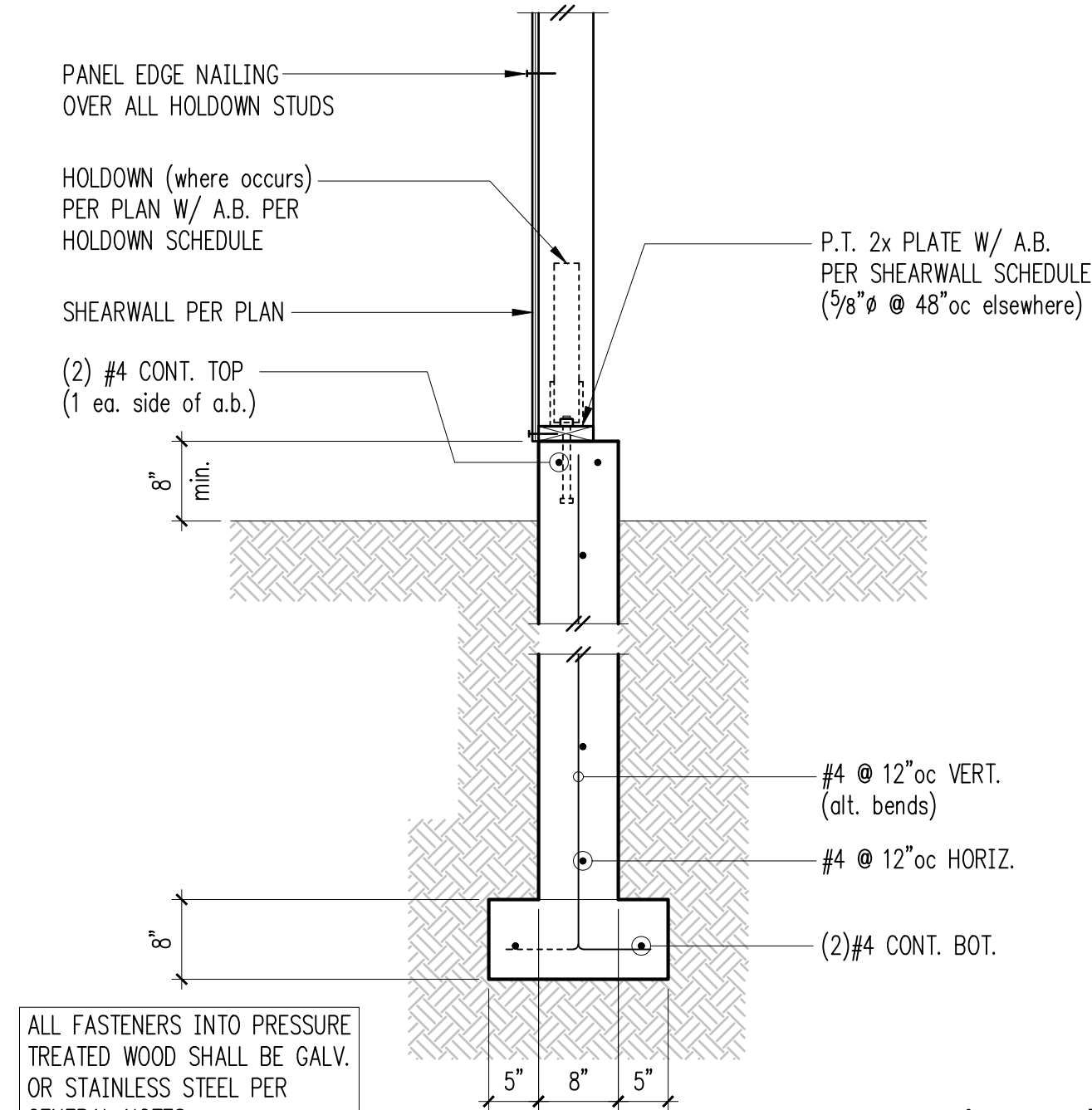
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 DATE:
 Sept. 4, 2018
 PROJECT NO:
 10604-2018-01-00
 SHEET NO:

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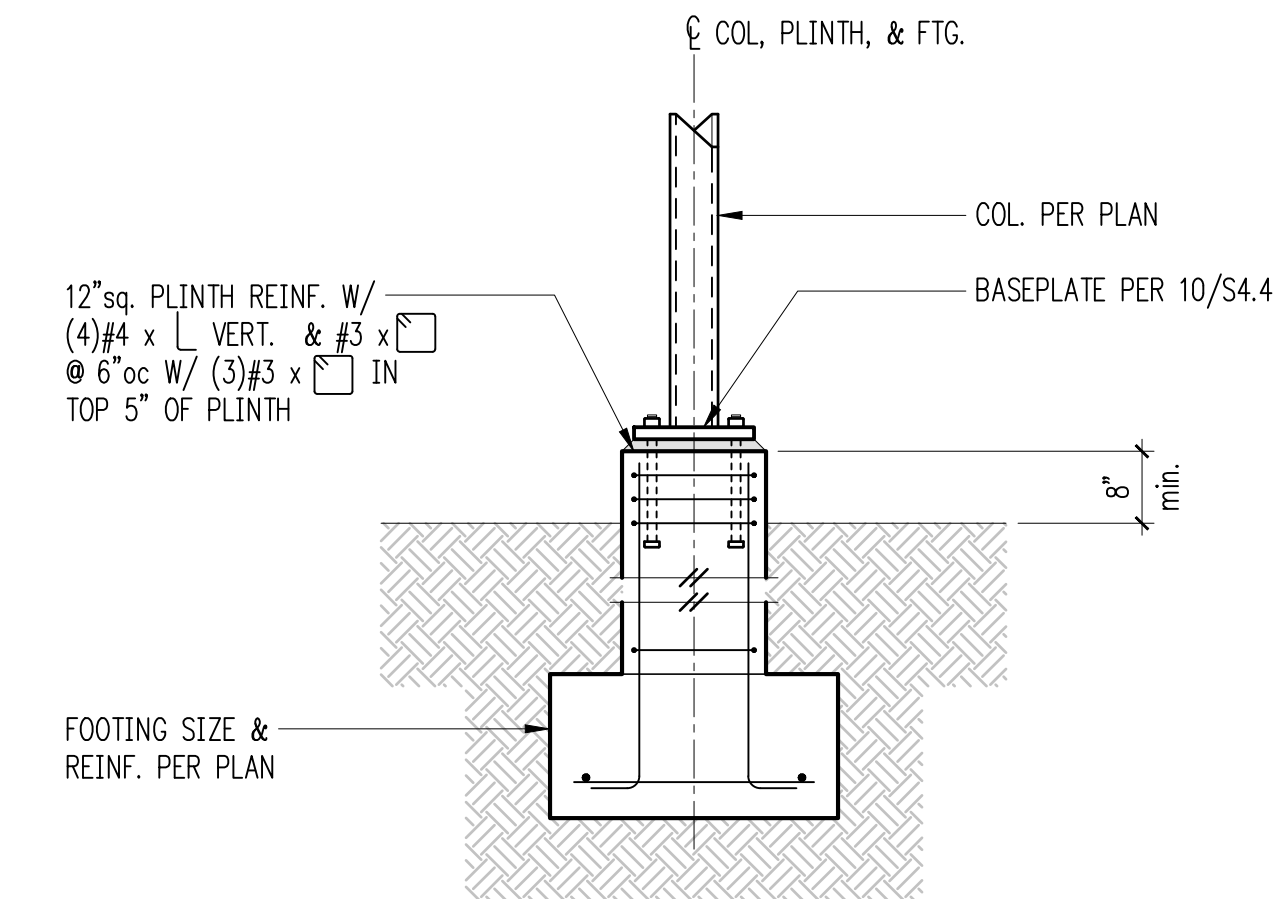


Typical Stepped Footing 2

ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



Exterior Wall 3



Column Footing - Square Plinth 4

5

6

7

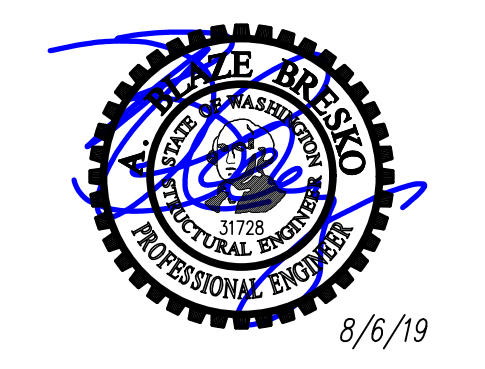
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12



DRAWN: SJB
 DESIGN: RJA
 CHECKED: RJA
 APPROVED: ABB

REVISIONS:

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 Foundation Sections & Details

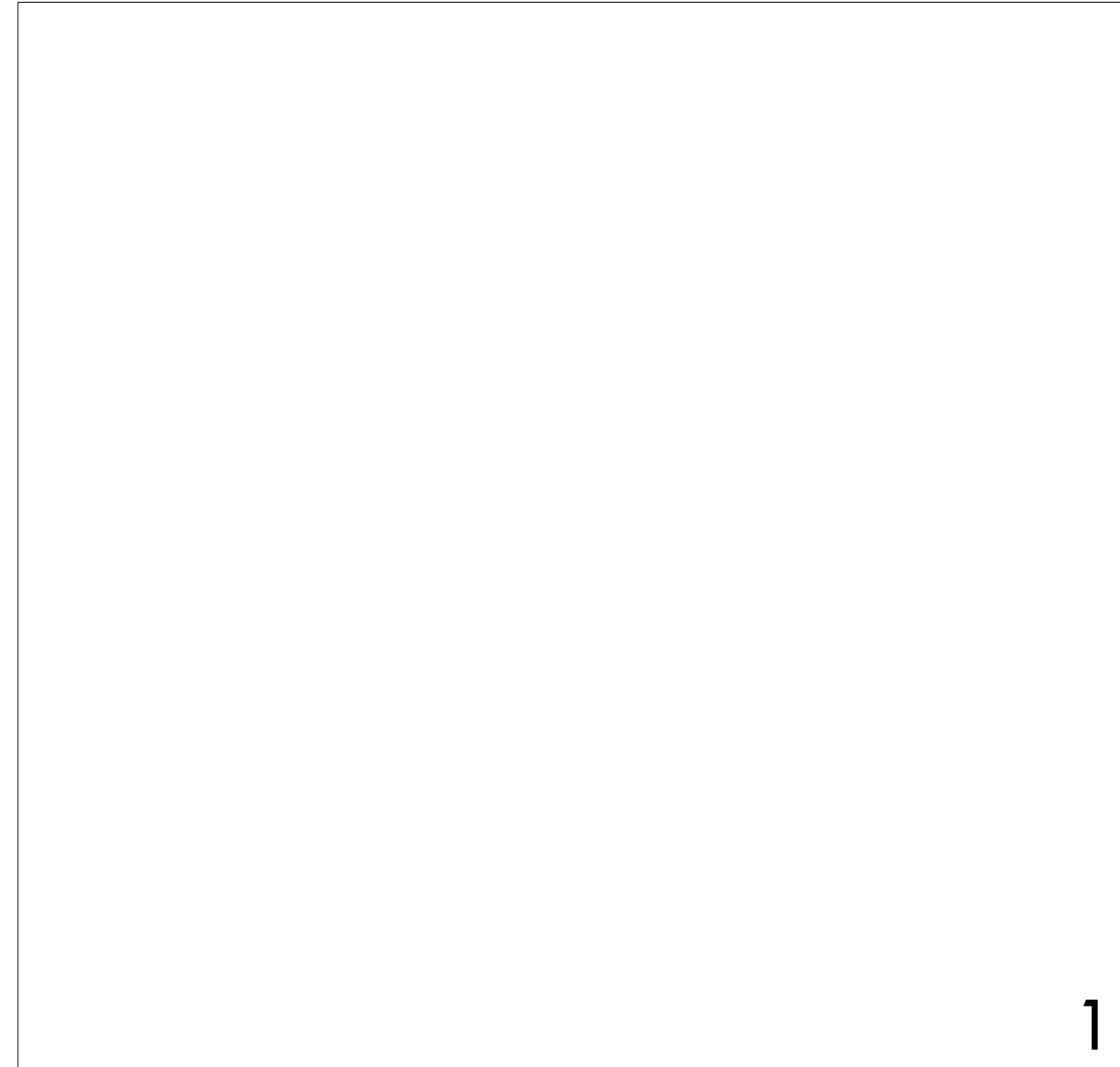
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 PROJECT NO: 10604-2018-01-00
 SHEET NO:

S3.2

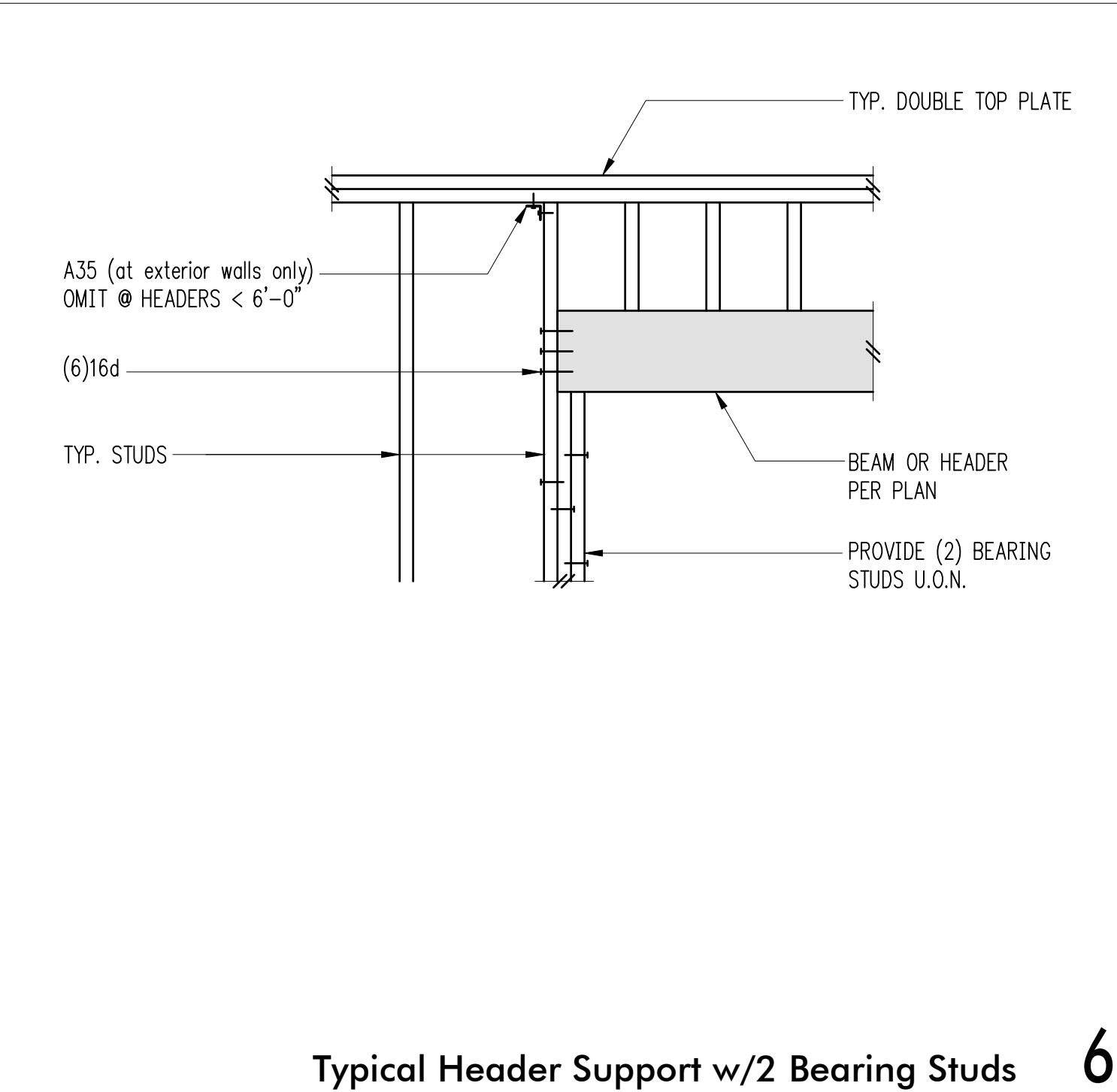


8/6/19

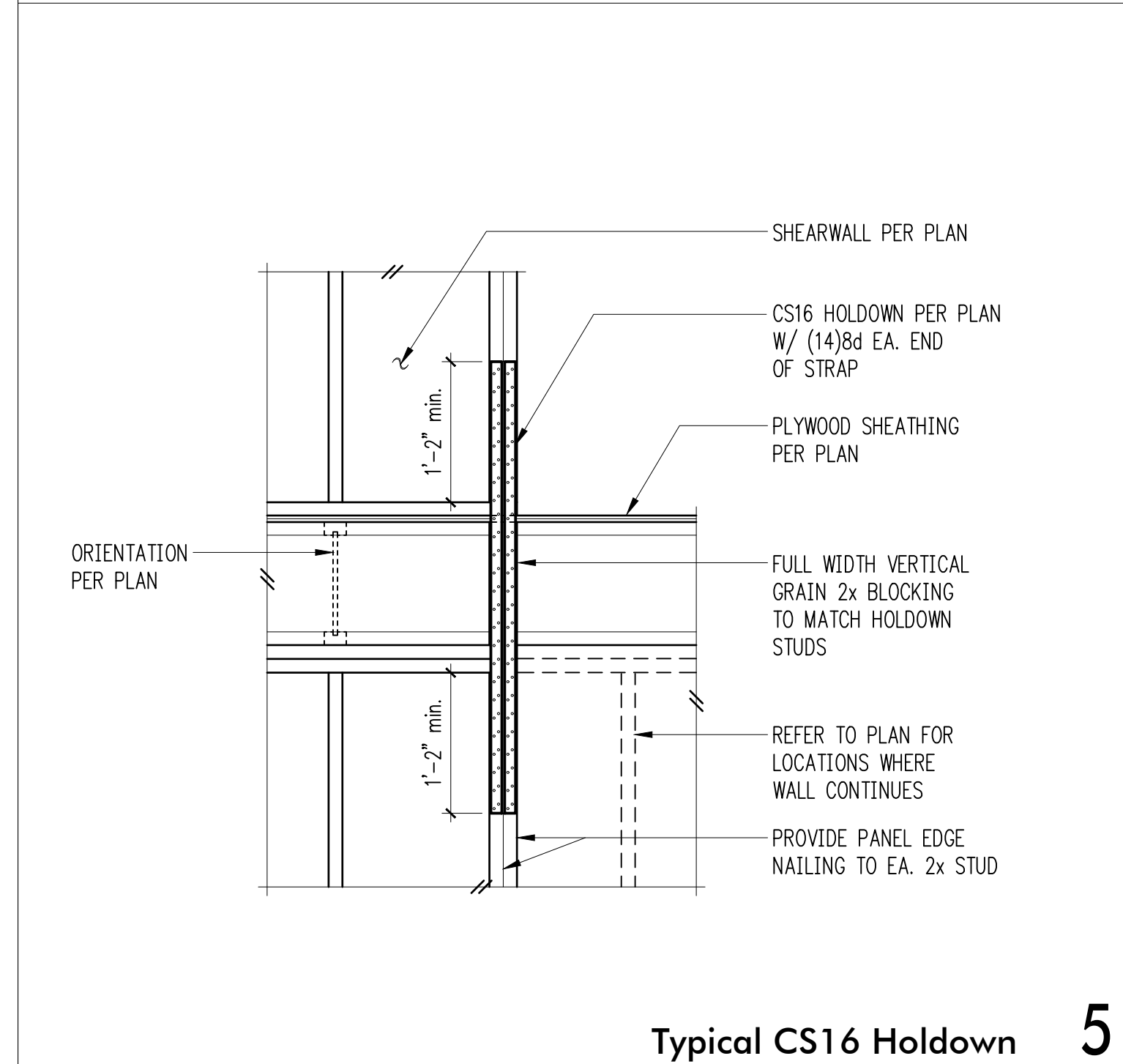
DRAWN: SJB
DESIGN: RJA
CHECKED: RJA
APPROVED: ABB



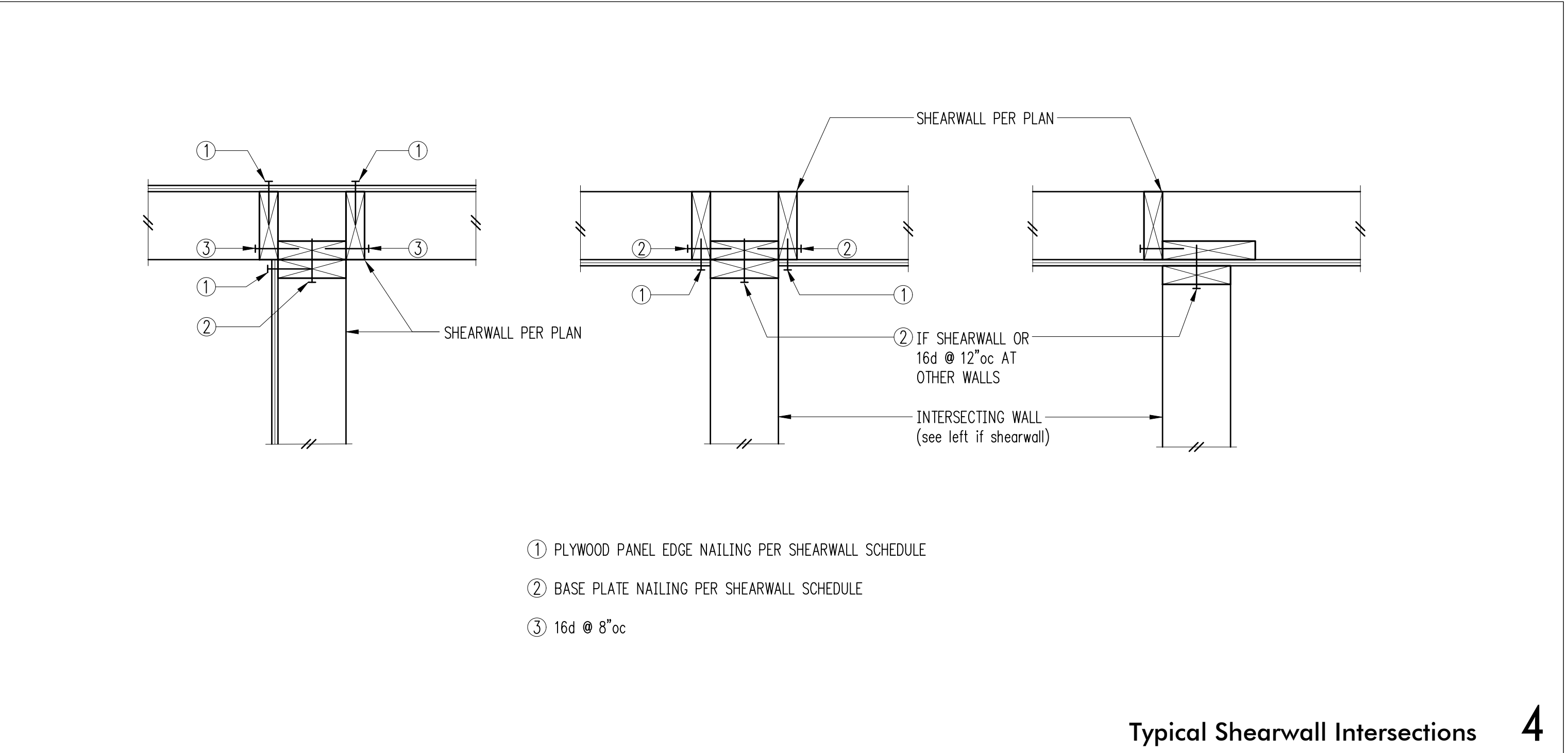
1 Typical Shearwall at Changing Wall Thickness 2



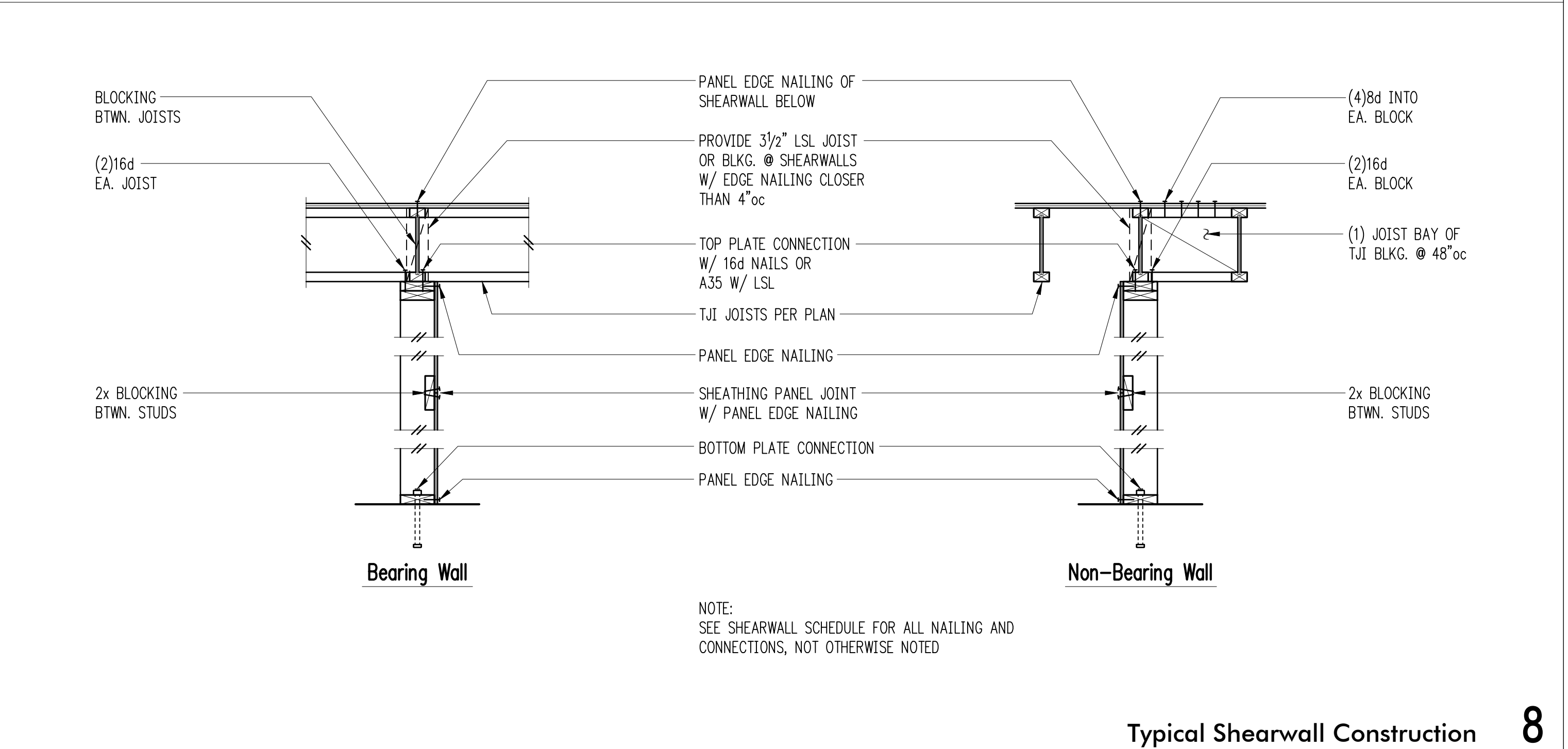
5 Typical CS16 Holddown 5



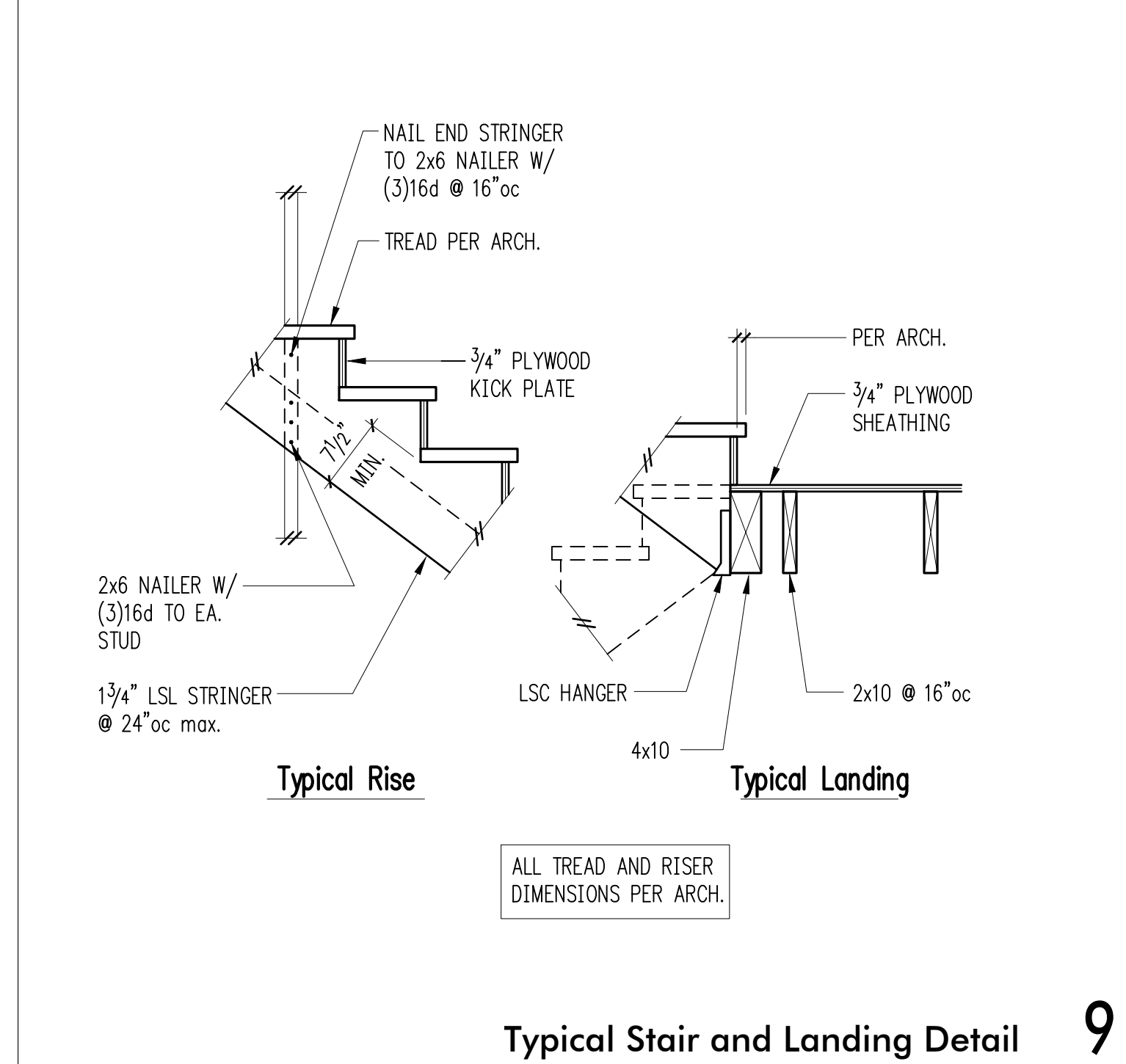
6 Typical Header Support w/2 Bearing Studs 6



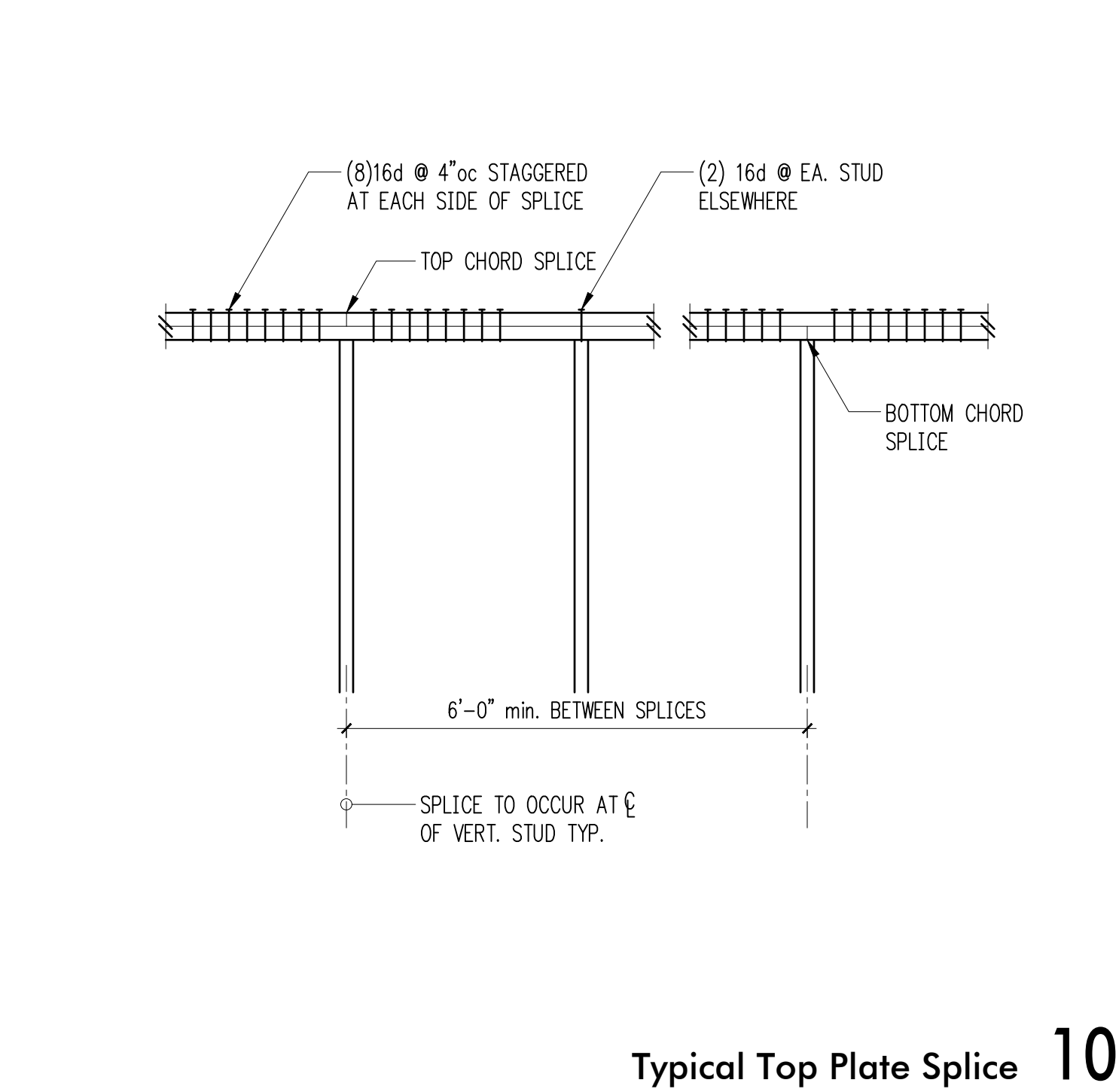
2 Typical Shearwall Intersections 4



8 Typical Shearwall Construction 8



9 Typical Stair and Landing Detail 9



10 Typical Top Plate Splice 10

Shearwall Schedule ①②③④⑤⑥⑦

Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood ⑤	at Wood ⑩	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	5/8" A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc	(2)rows 16d @ 6"oc	5/8" A.B. @ 32"oc
W3 ①	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc	(2)rows 16d @ 6"oc	5/8" A.B. @ 24"oc
W2 ②	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc	(2)rows 16d @ 4"oc ⑪	5/8" A.B. @ 16"oc

① BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"oc.
 ② 8d NAILS SHALL BE 0.131" x 2 1/2" (common) - 16d NAILS SHALL BE 0.135" x 3 1/2" (box)
 ③ EMBED ANCHOR BOLTS AT LEAST 7". EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
 ④ 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
 ⑤ TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
 ⑥ ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
 ⑦ 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.
 ⑧ LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
 ⑨ A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
 ⑩ AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
 ⑪ PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

12 Shearwall Schedule - (Sheathed One Side) 12

REVISIONS:

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ARCHITECT:

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600 108th Ave NE, Suite 108
Bellevue, WA 98004
PH 425.559.7888

ISSUE:

Permit

SHEET TITLE:

Typical Wood Sections & Details

SCALE: 3/4 = 1'-0" U.N.O.

DATE: Sept. 4, 2018

PROJECT NO: 10604-2018-01-00

SHEET NO:



DRAWN: SJB
DESIGN: RJA
CHECKED: RJA
APPROVED: ABB

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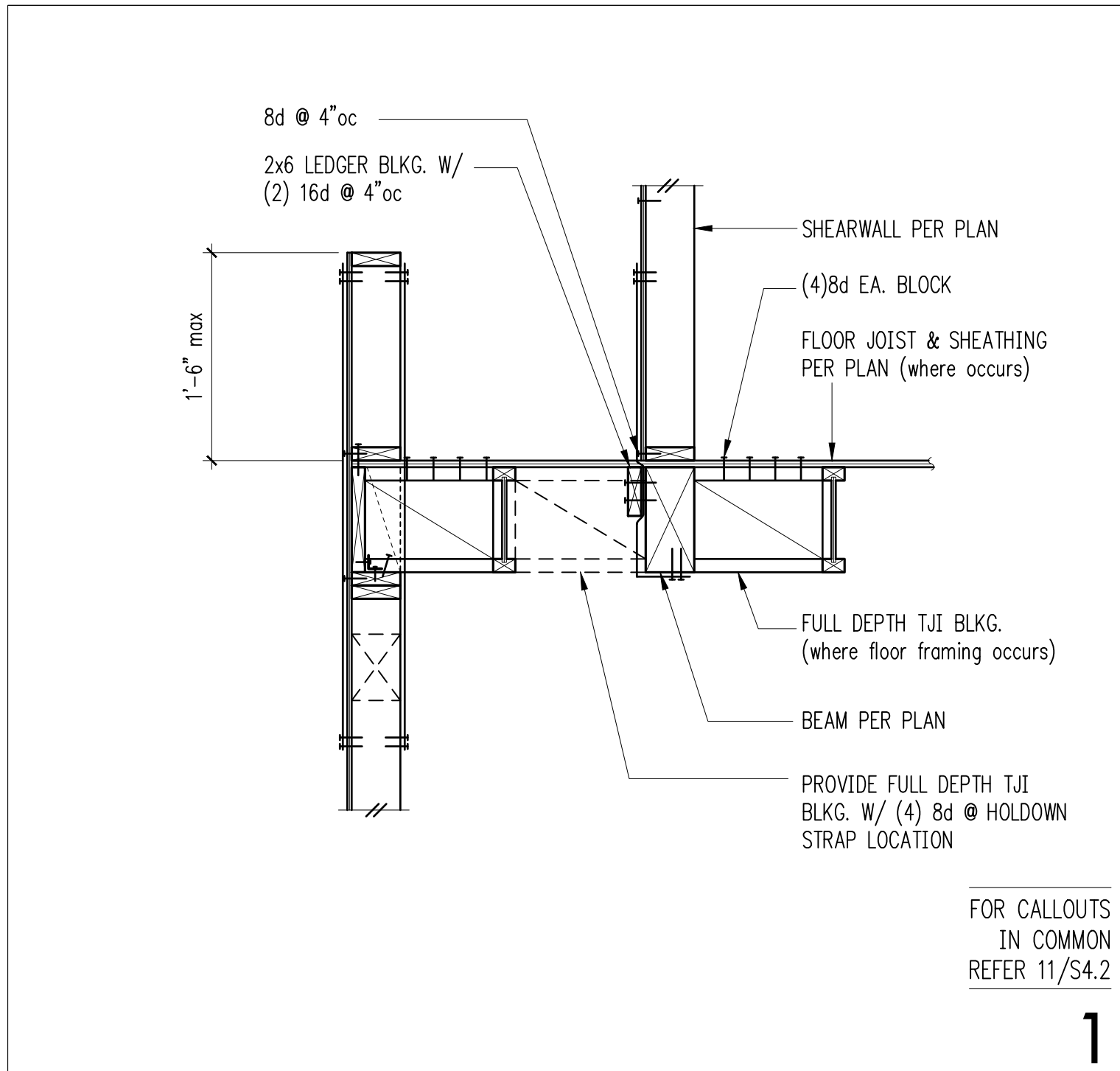
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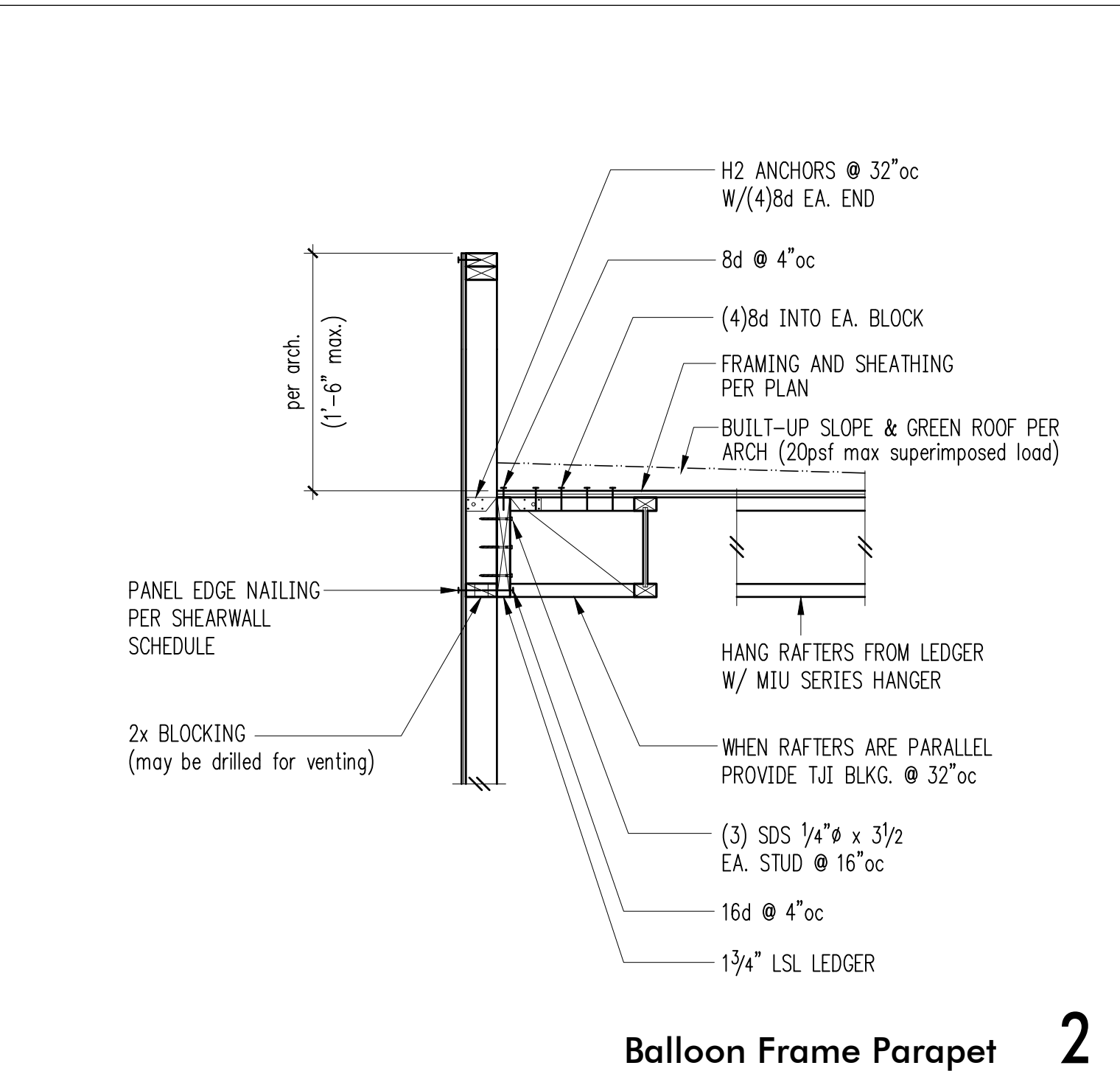
Wood Framing Sections & Details

SCALE: 3/4" = 1'-0" U.N.O.
DATE: Sept. 4, 2018
PROJECT NO: 10604-2018-01-00
SHEET NO:

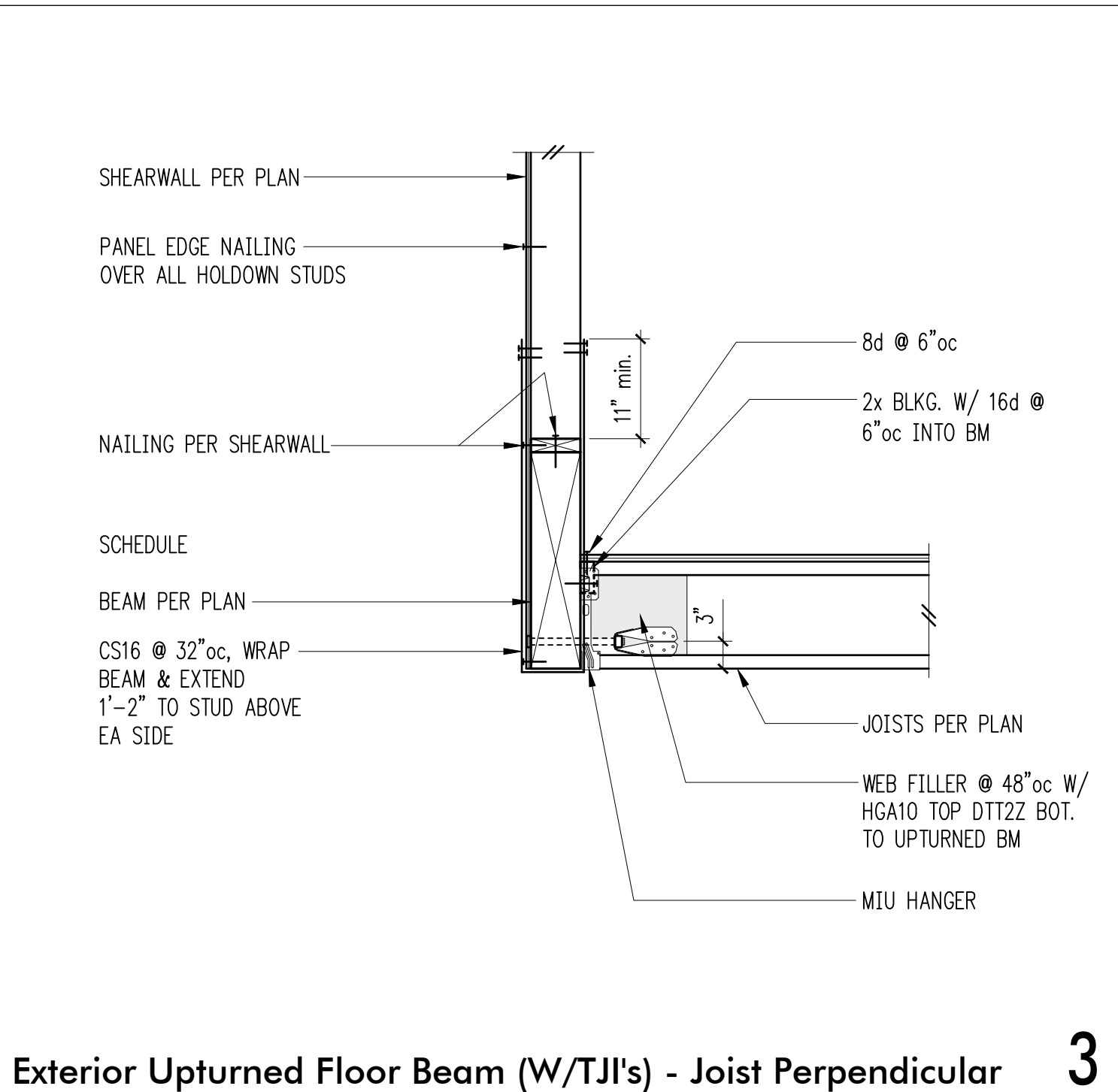
S4.2



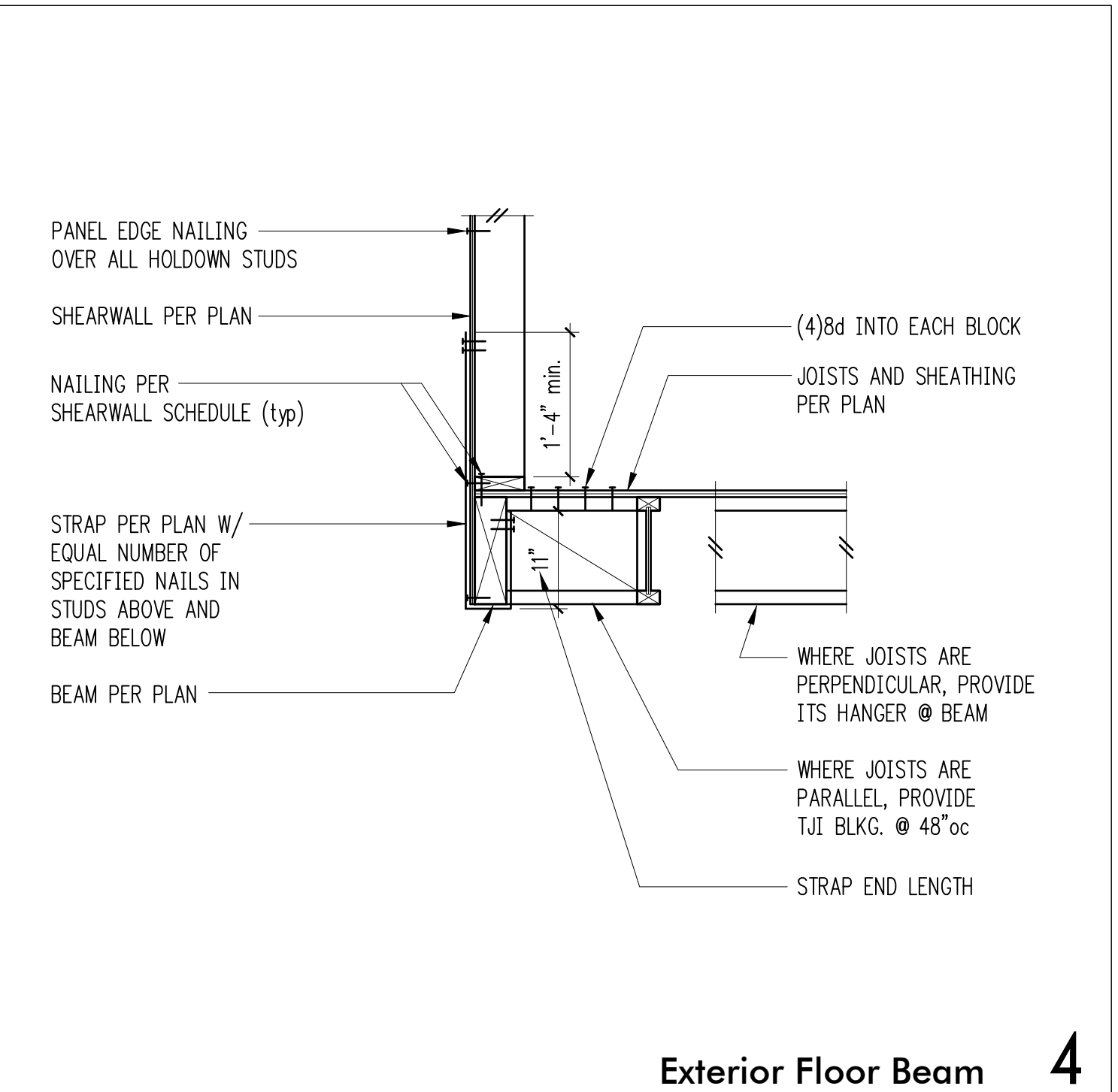
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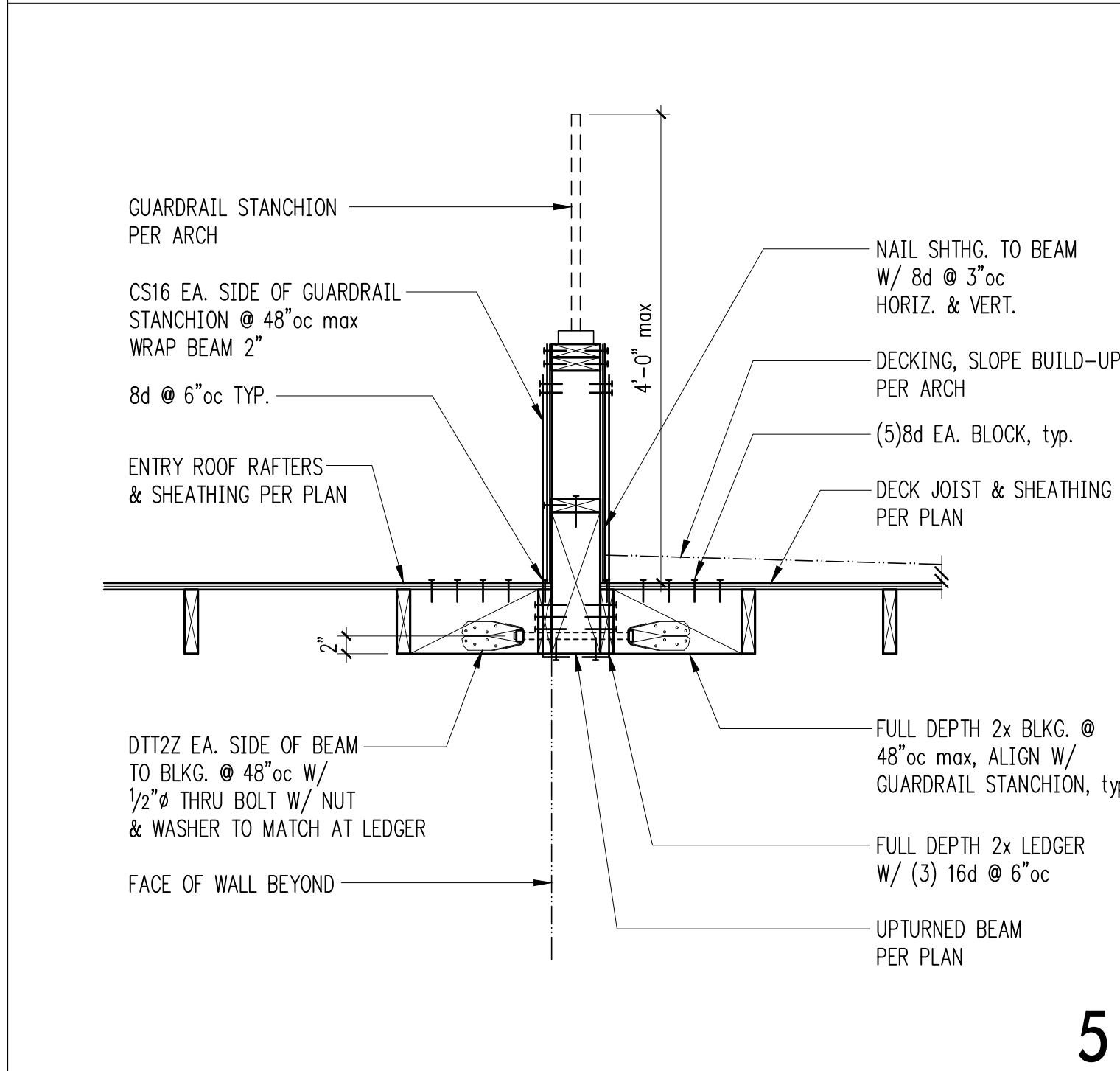
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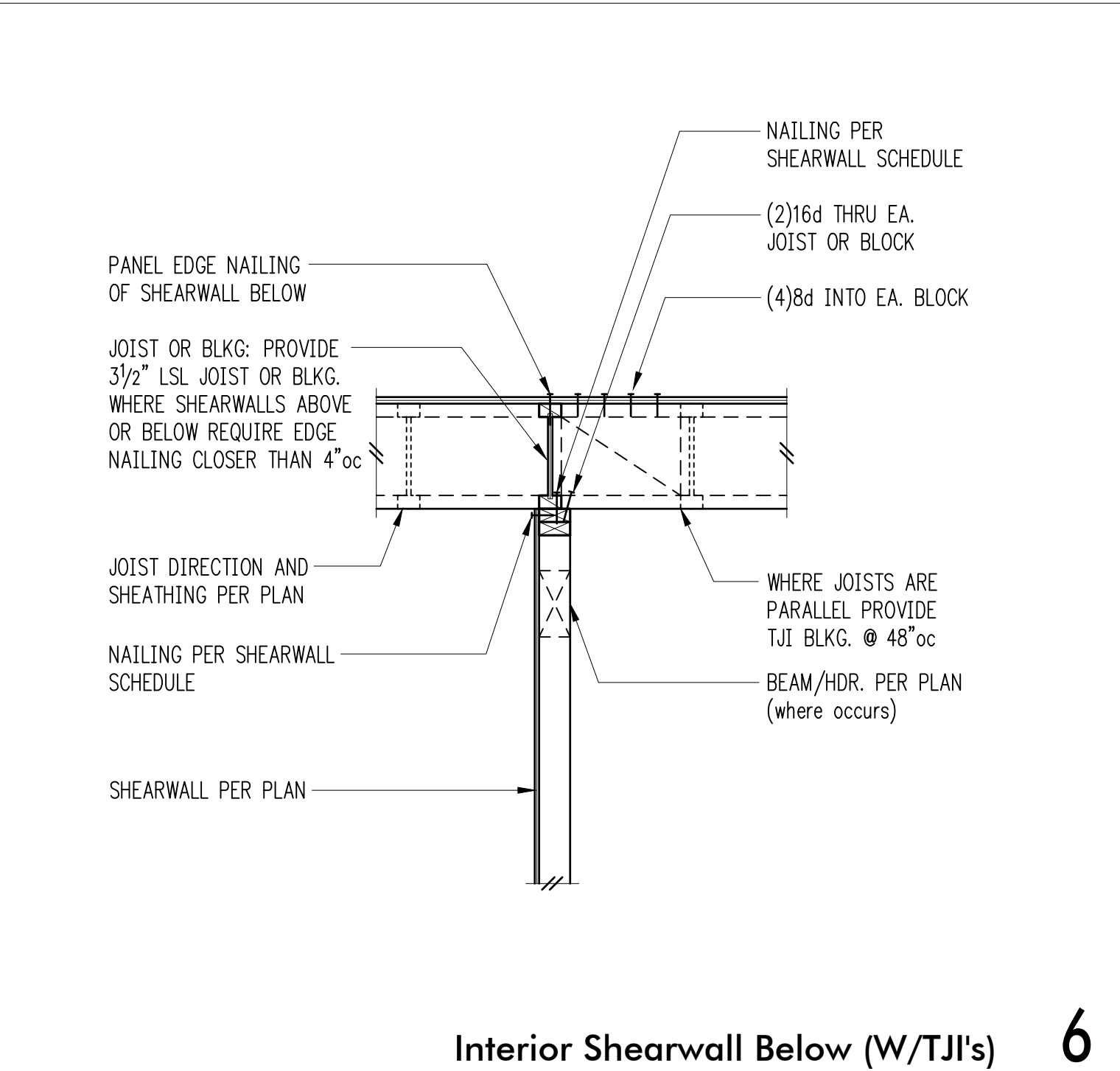
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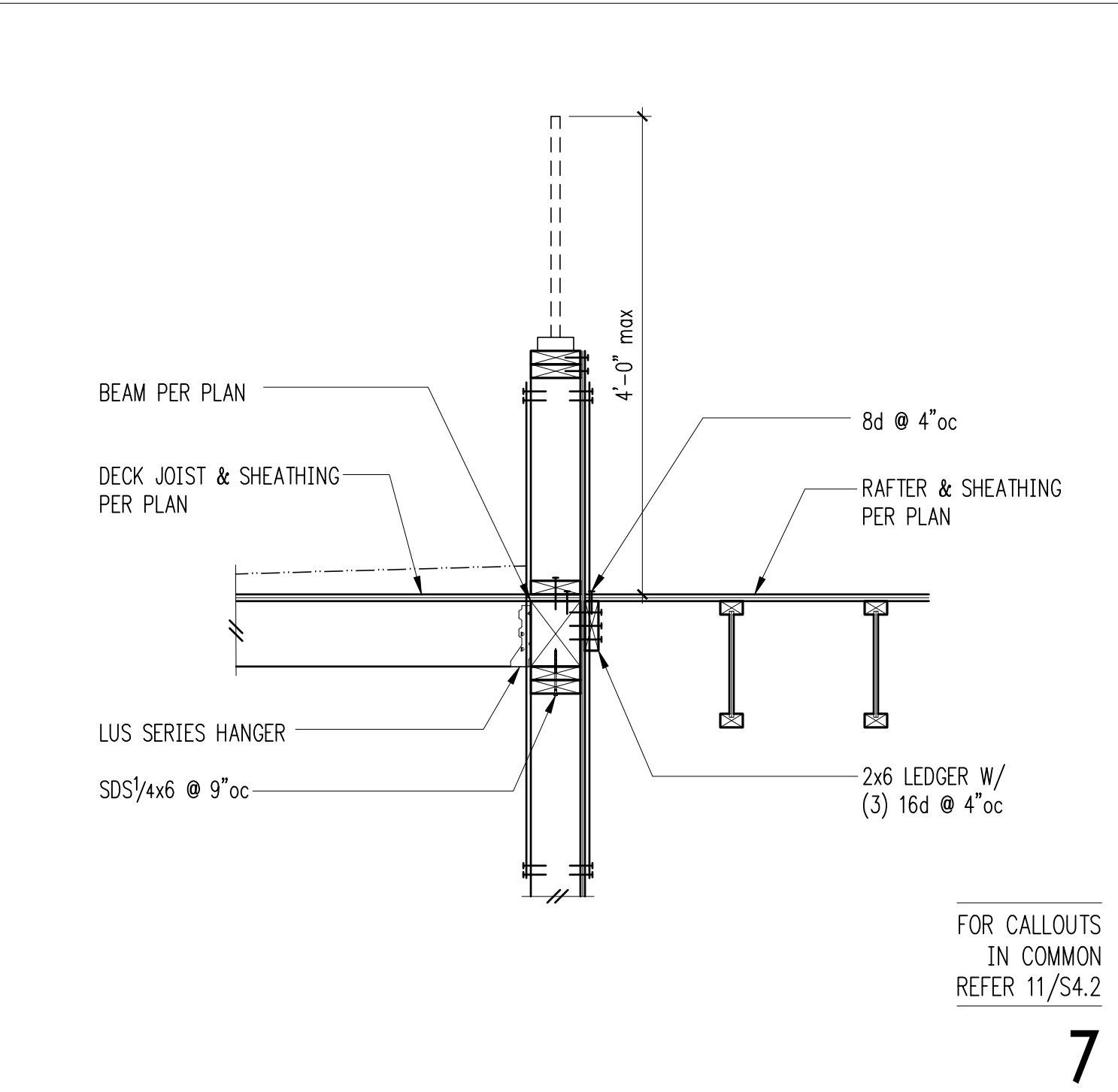
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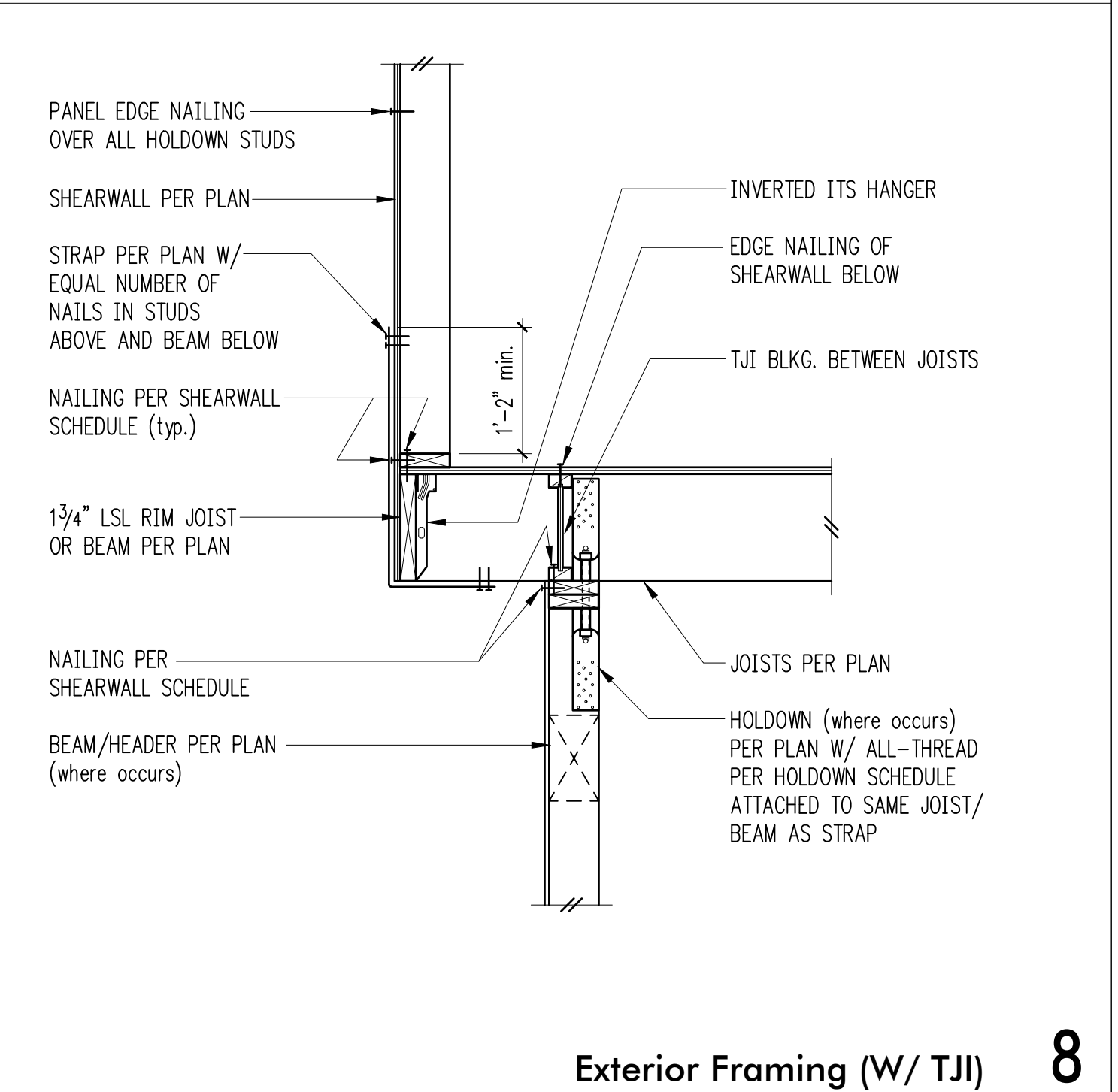
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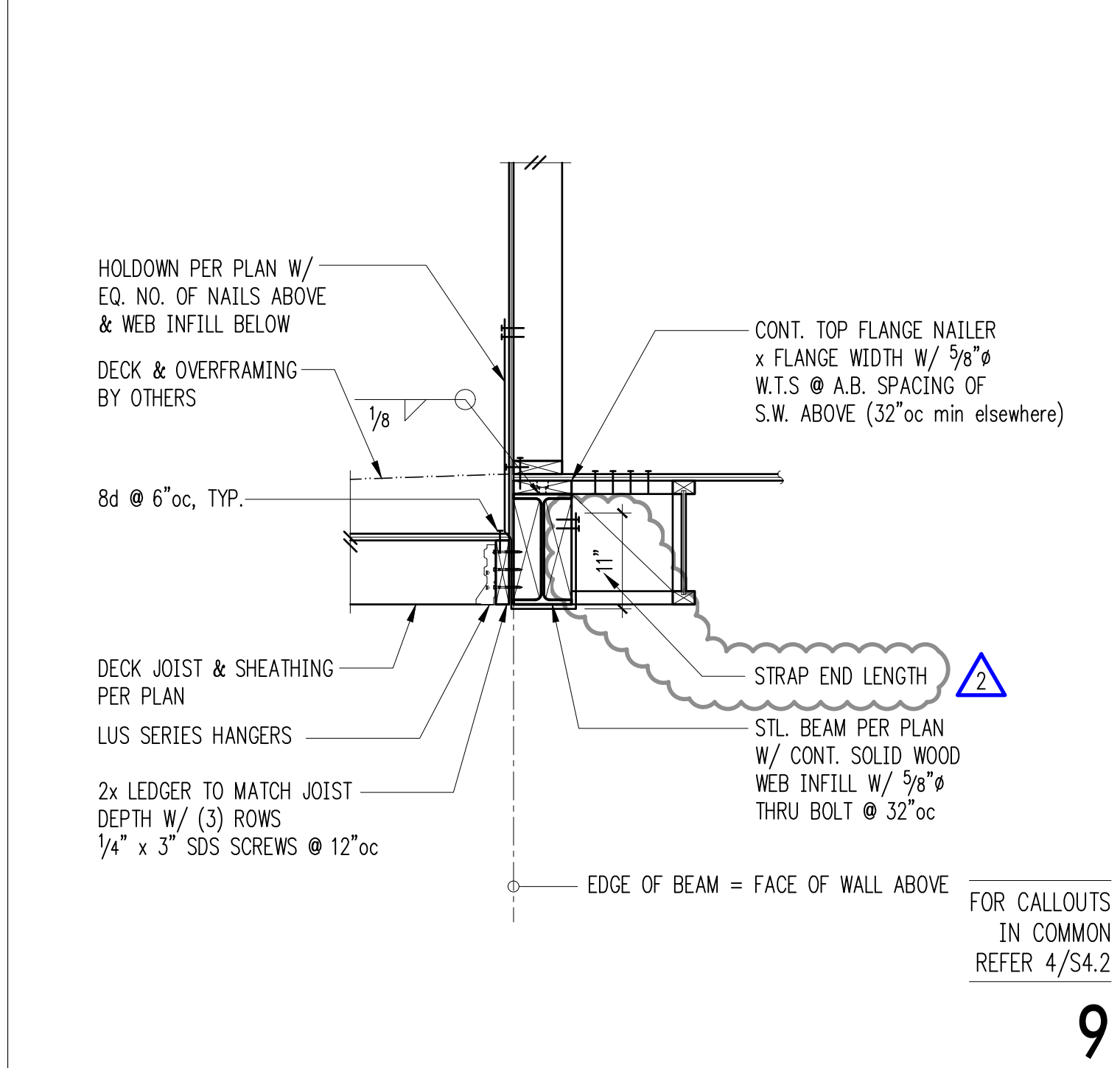
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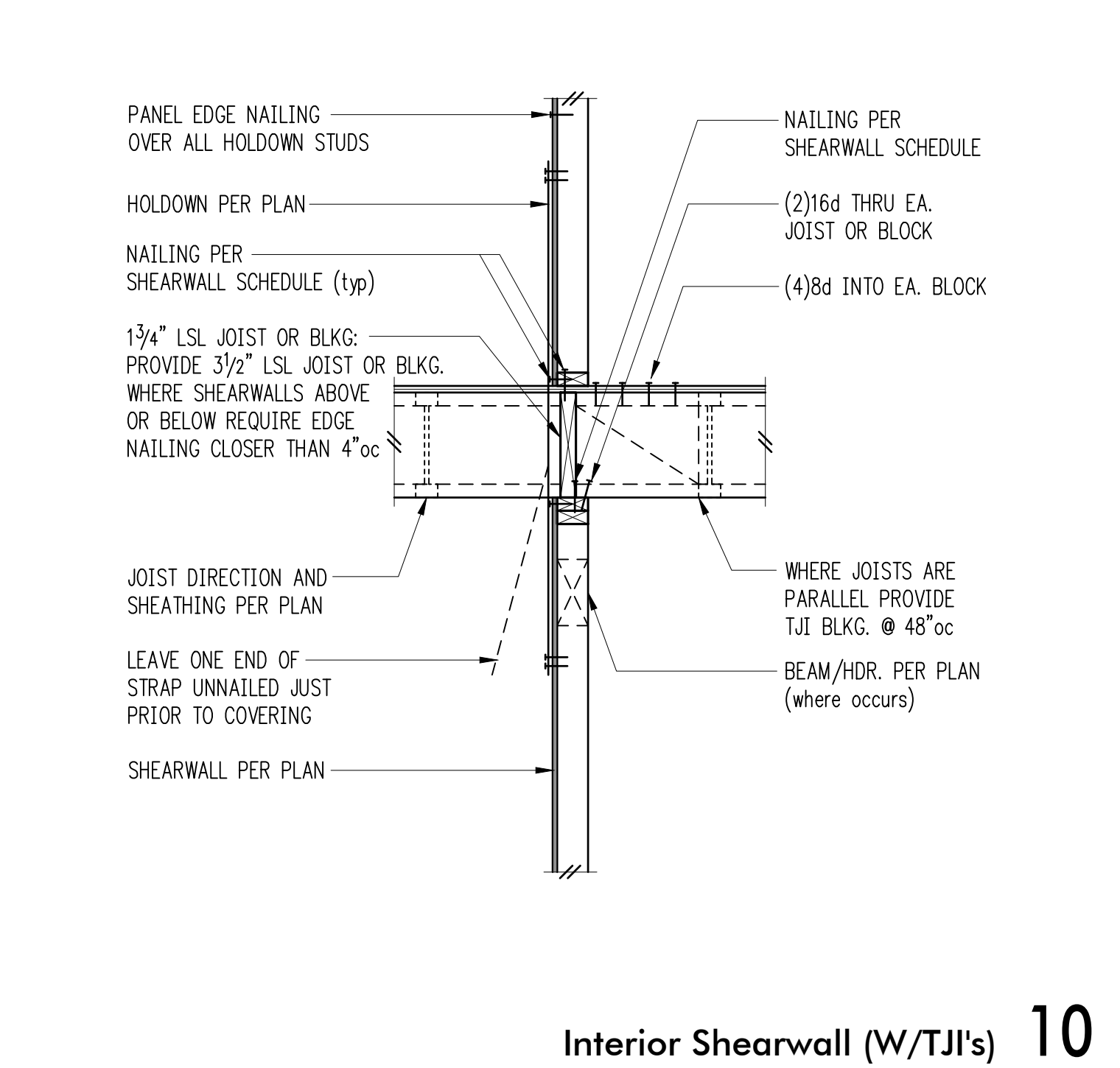
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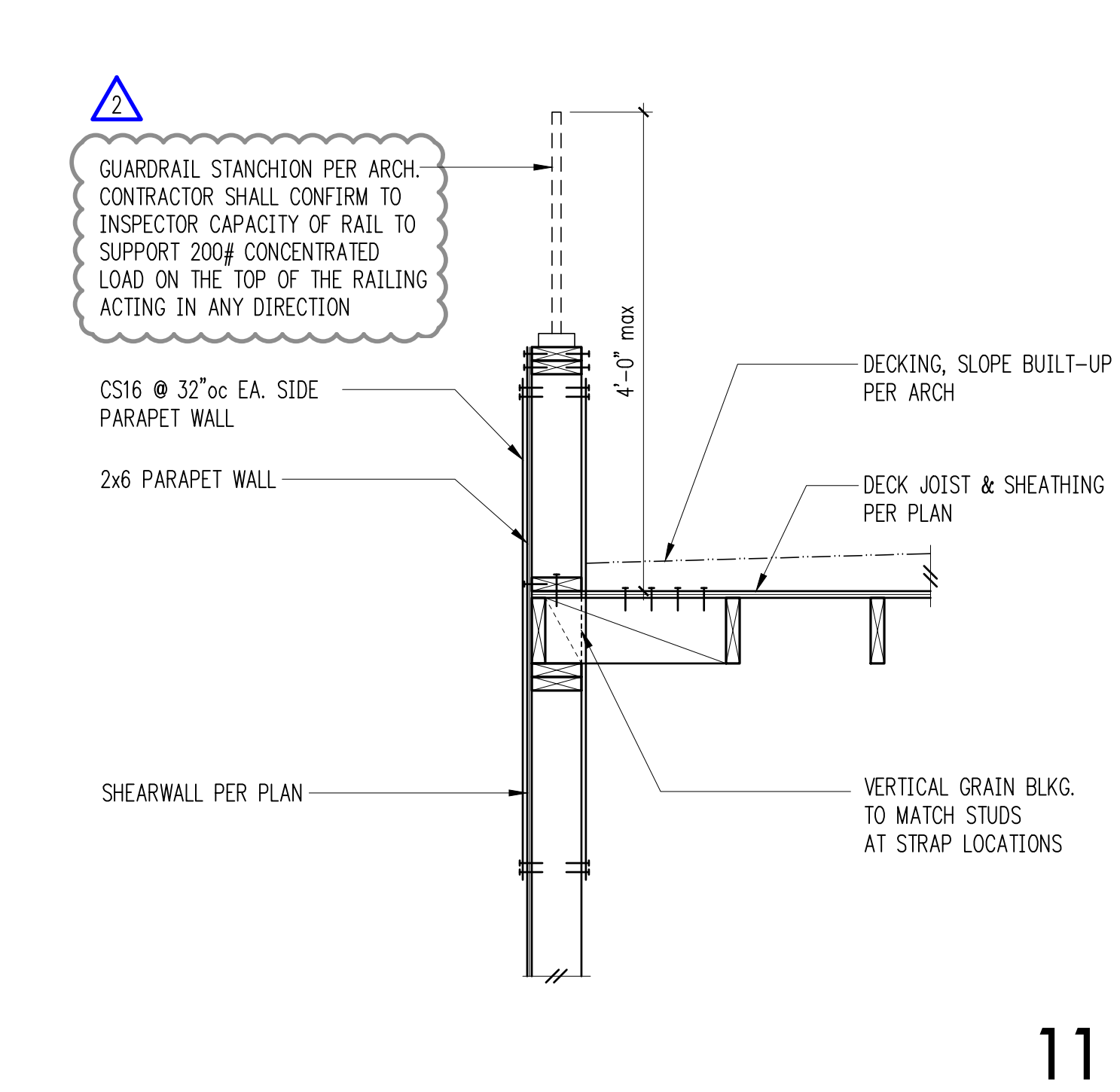
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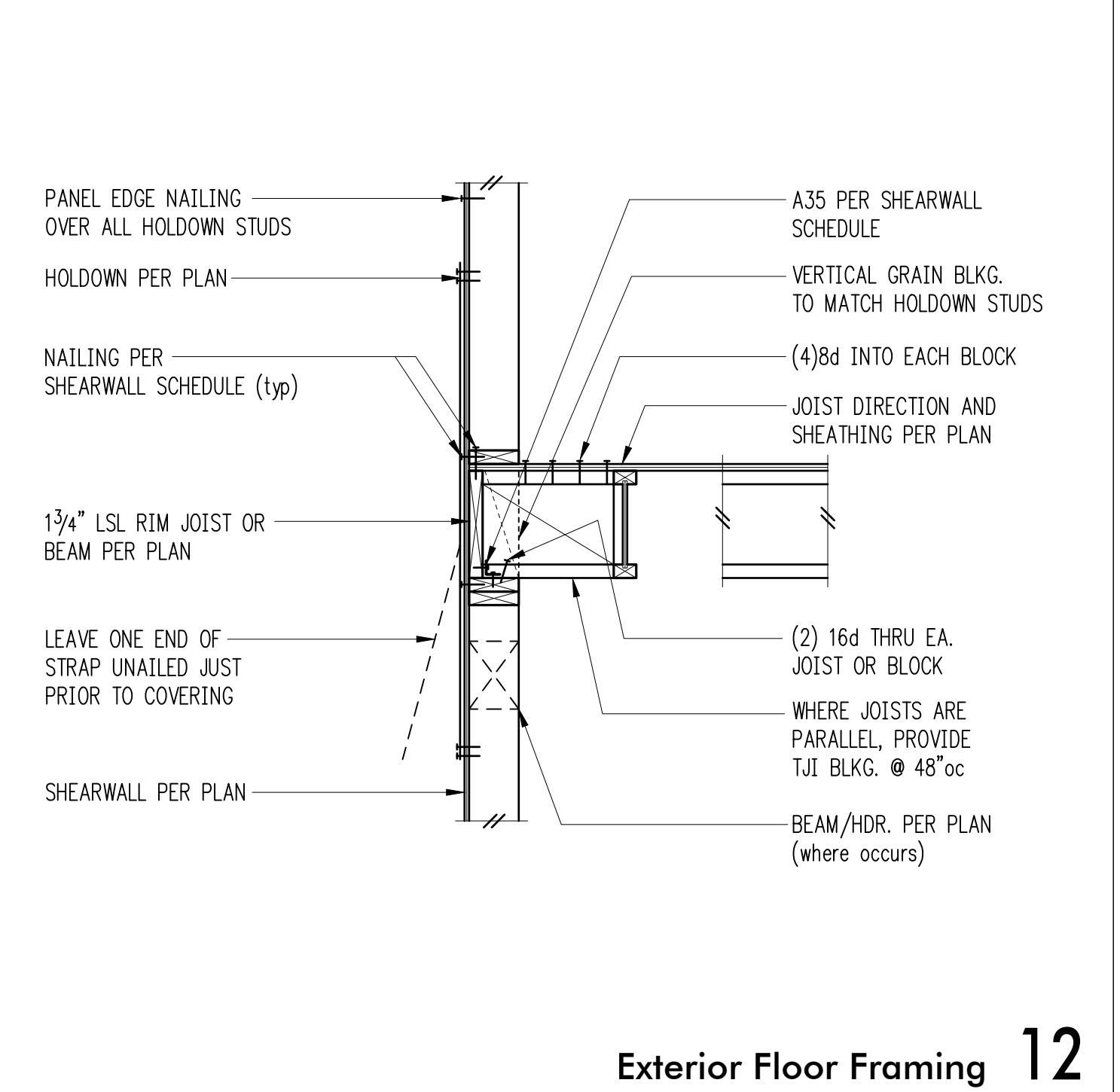
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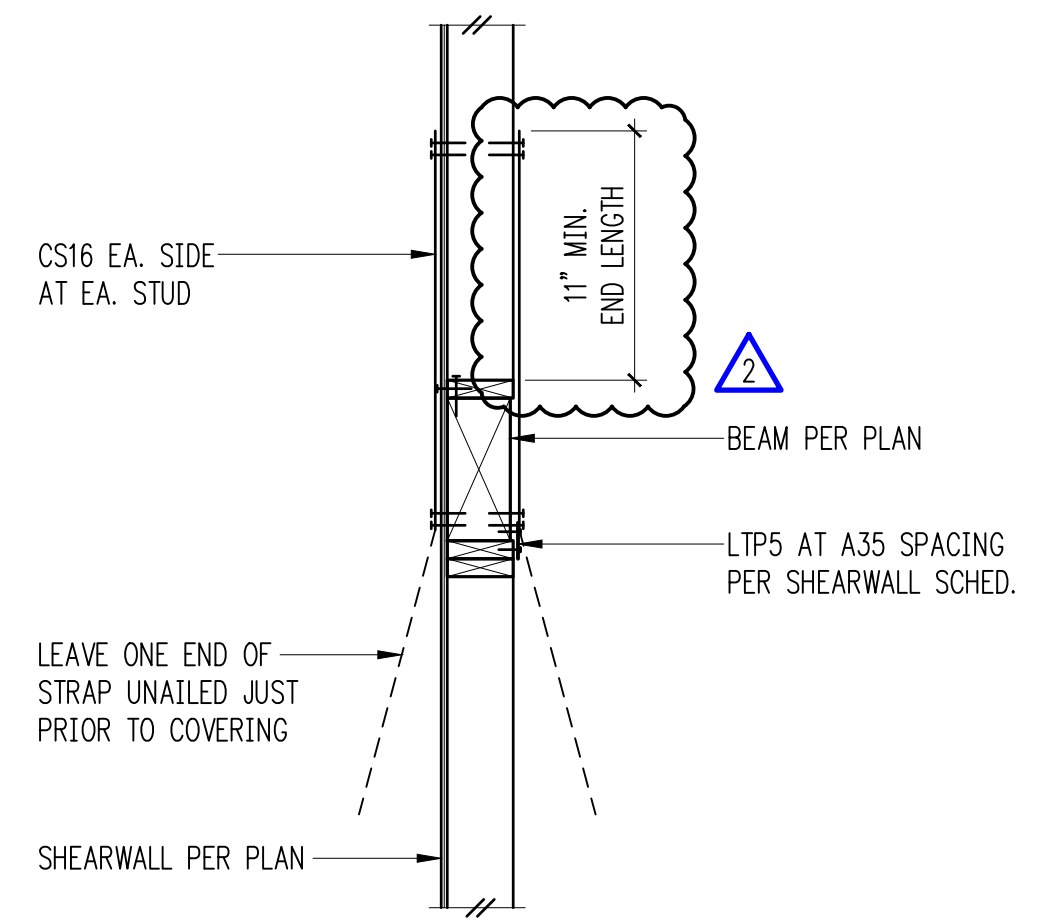
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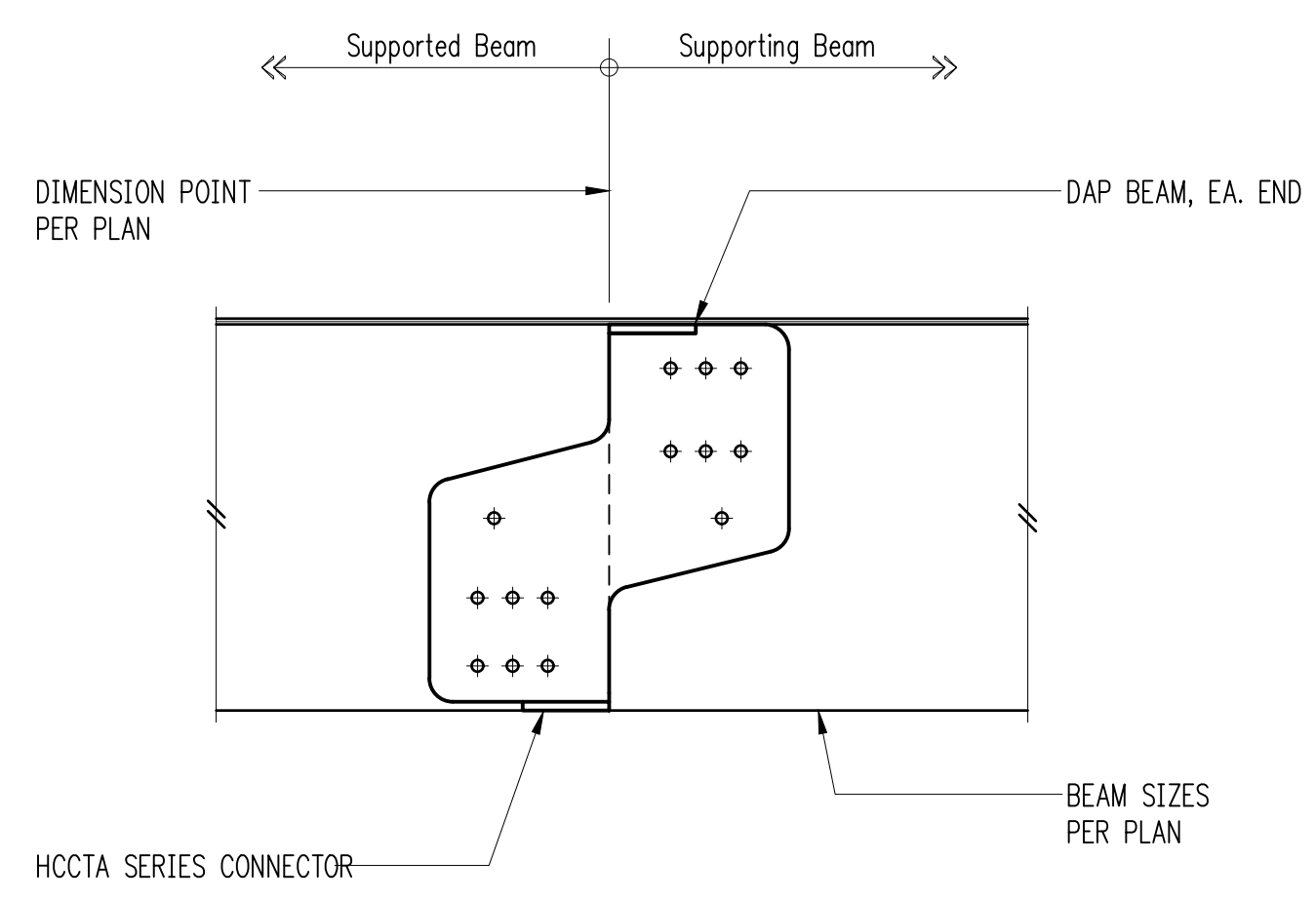
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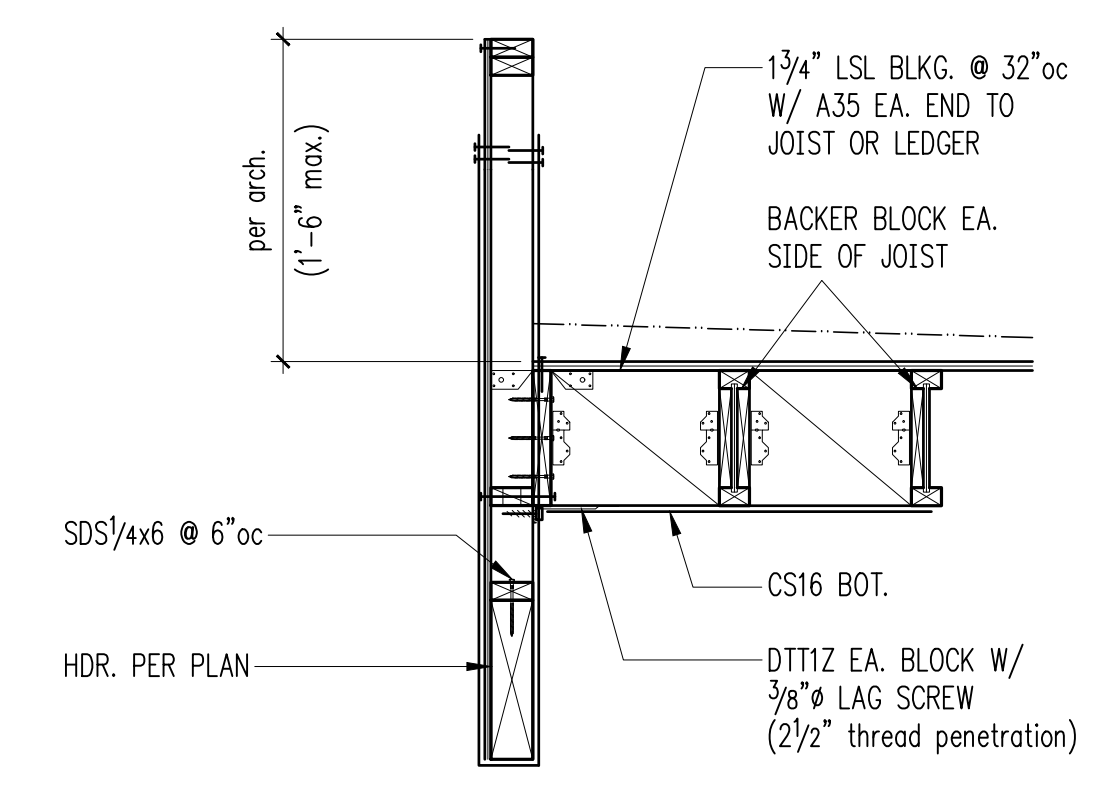
12



Exterior Wall at Open Floor 1

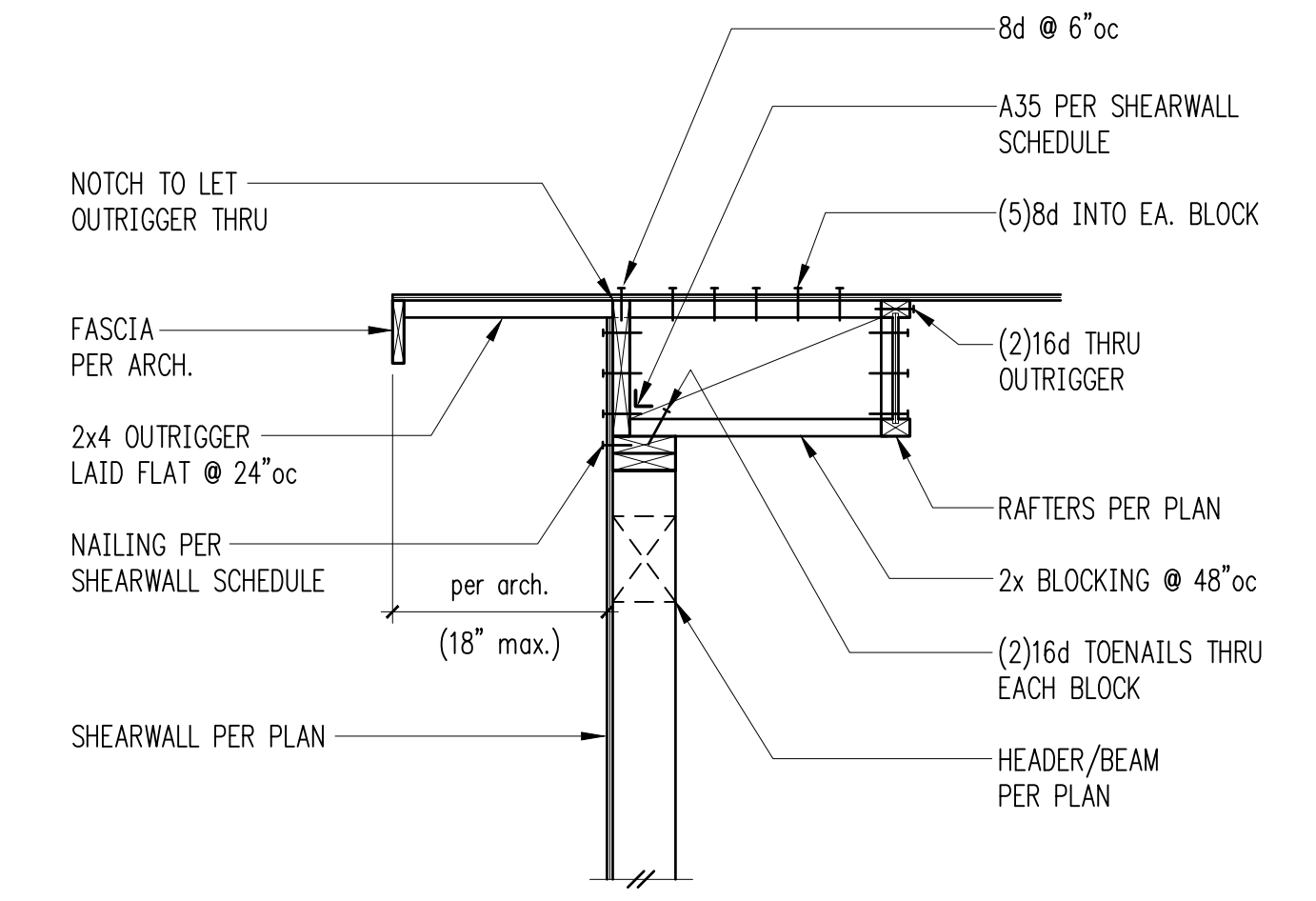


Hinge Connector 2

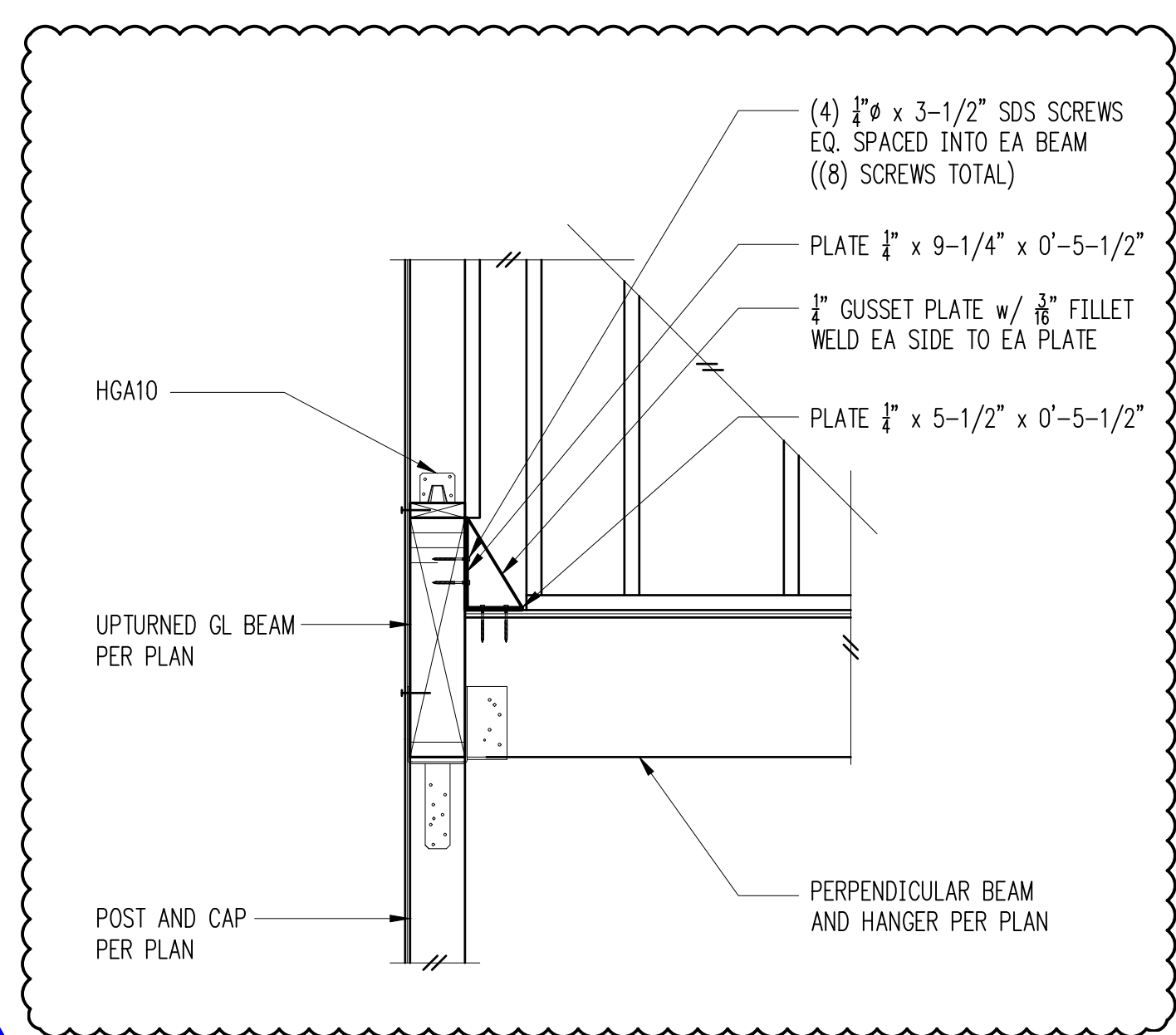


FOR CALLOUTS
 IN COMMON
 REFER 2/S4.2

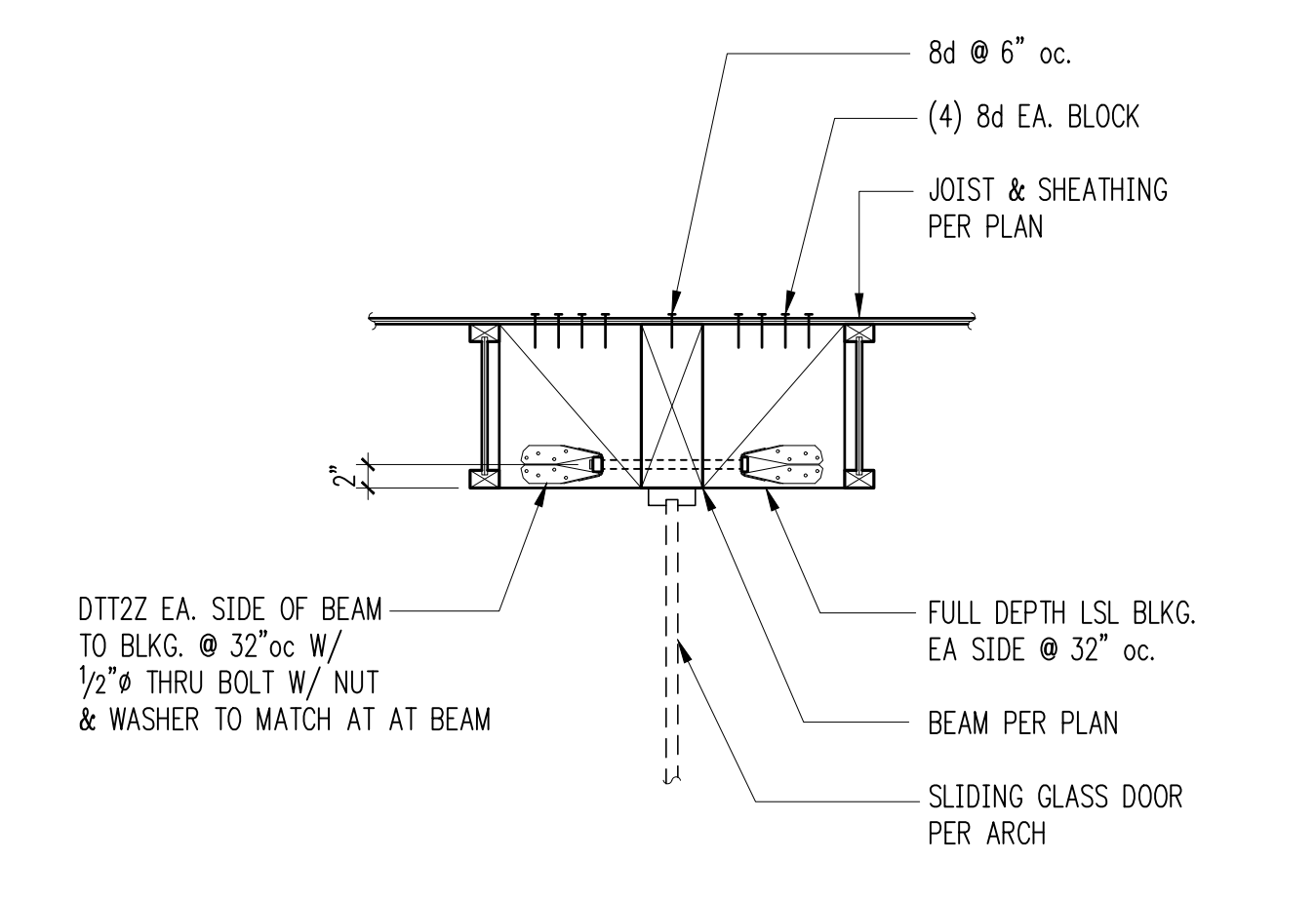
Parapet Over Door 3



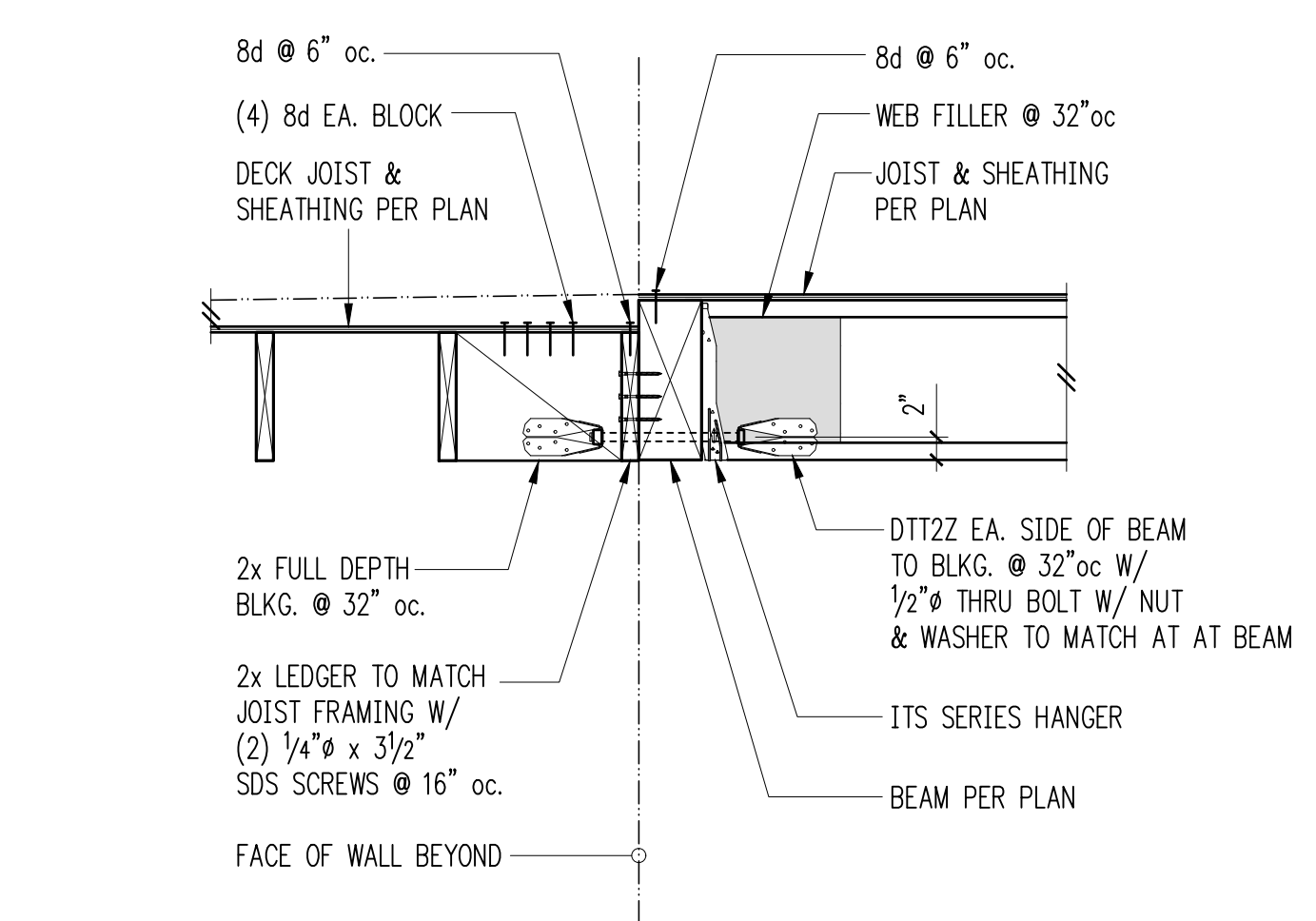
Exterior Non-Bearing Wall 4



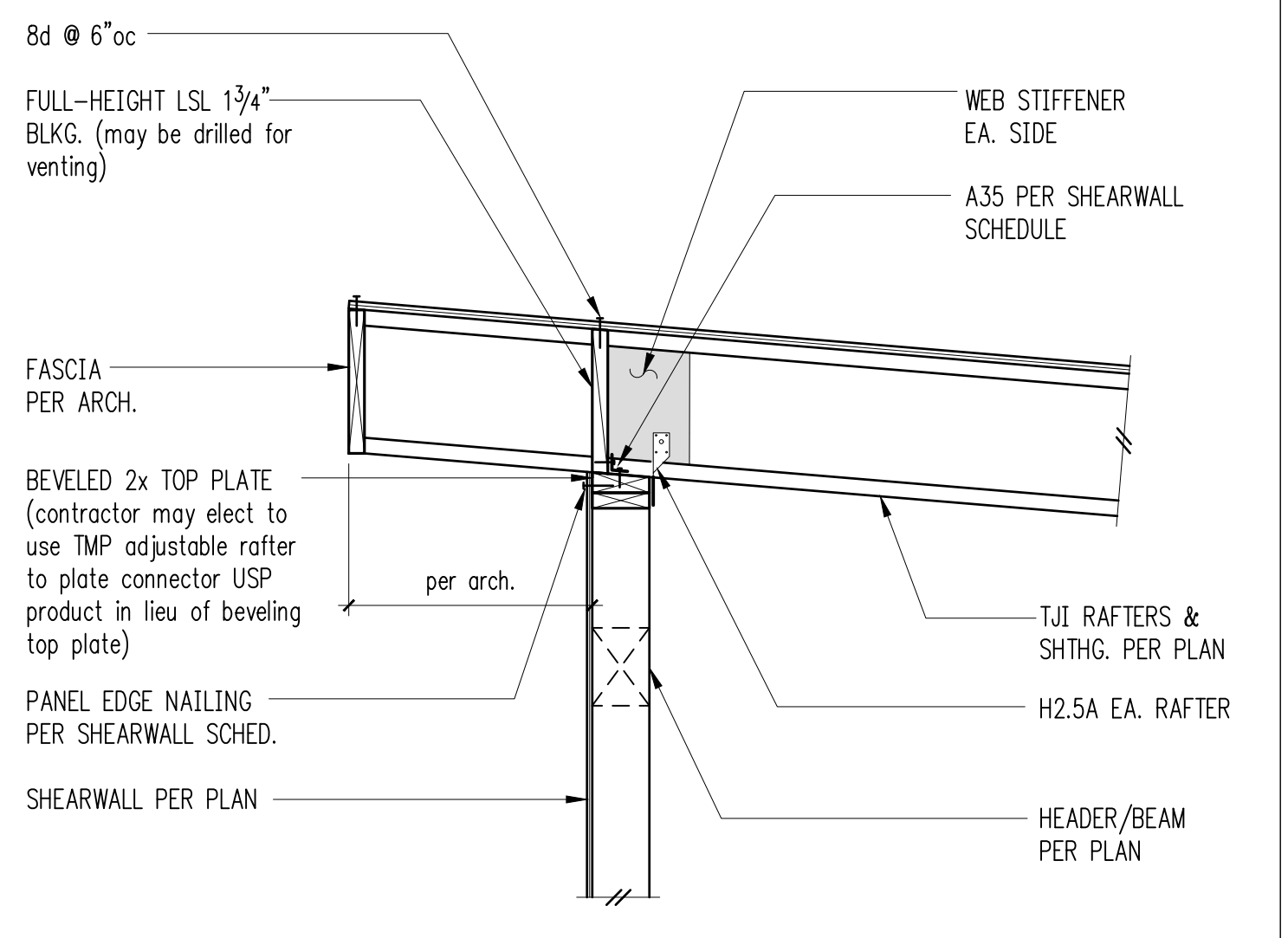
Uprturned Beam Connection 5



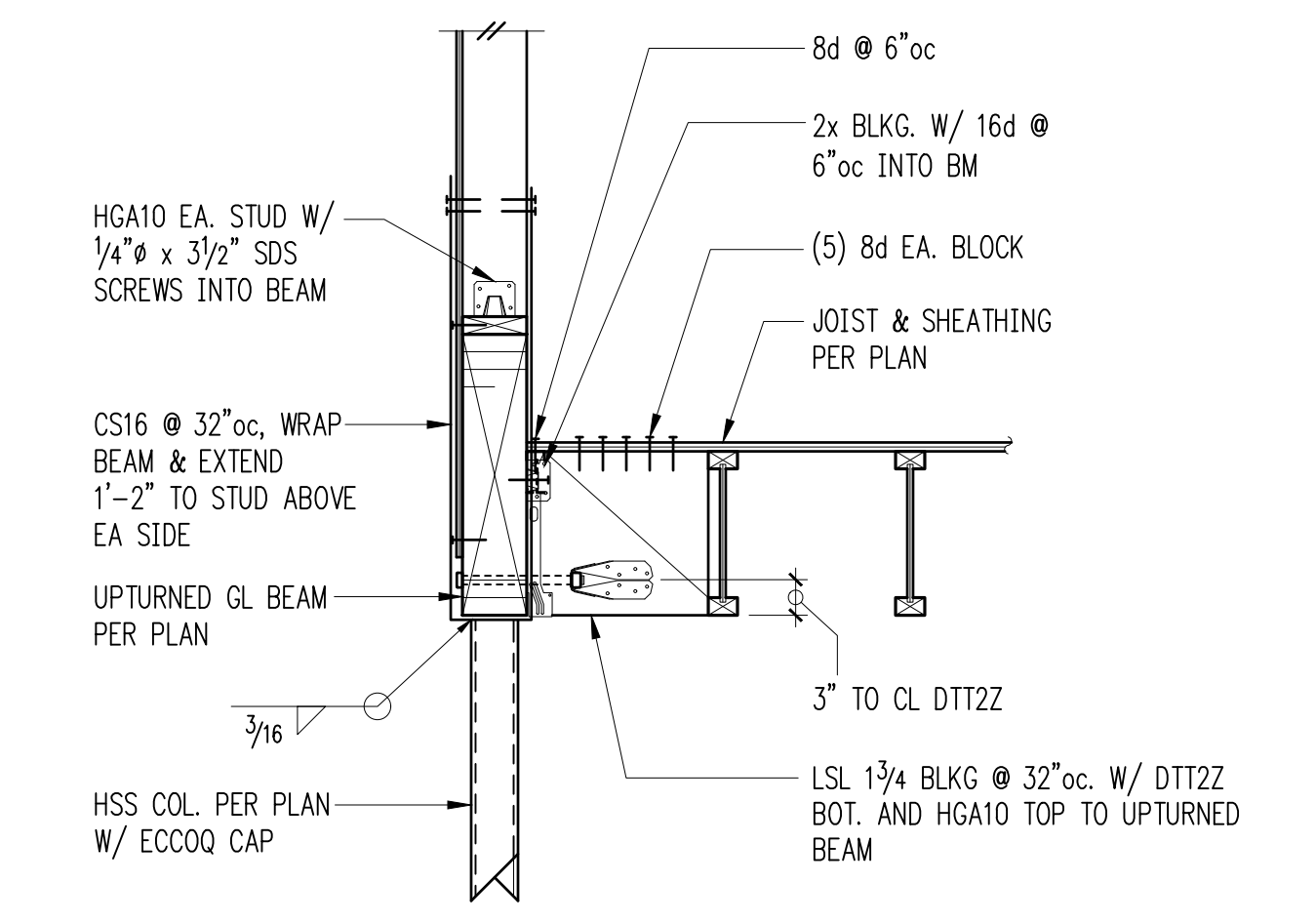
Beam Over Nana Wall 6



Deck/Balcony Framing 7

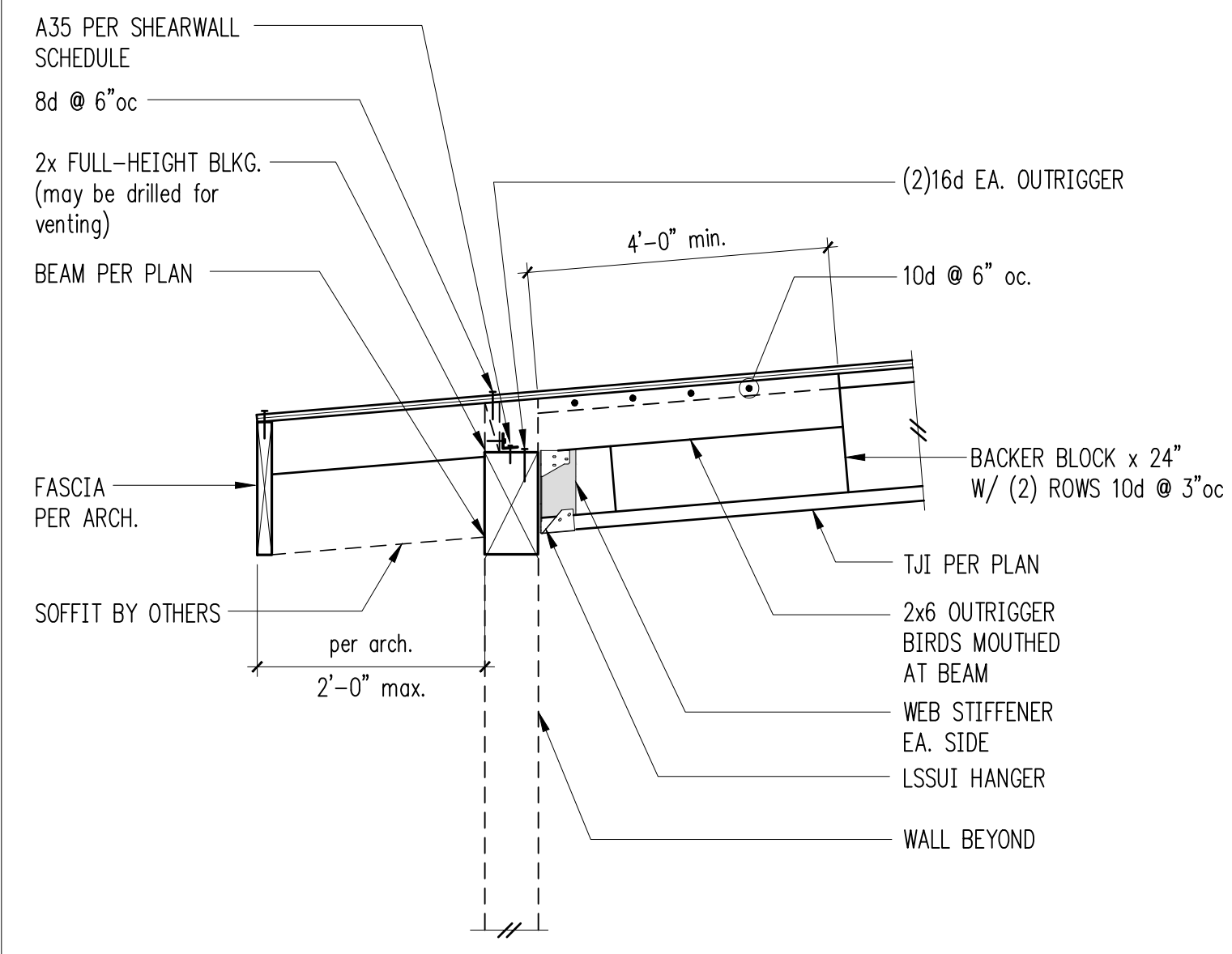


Exterior Bearing Wall 8

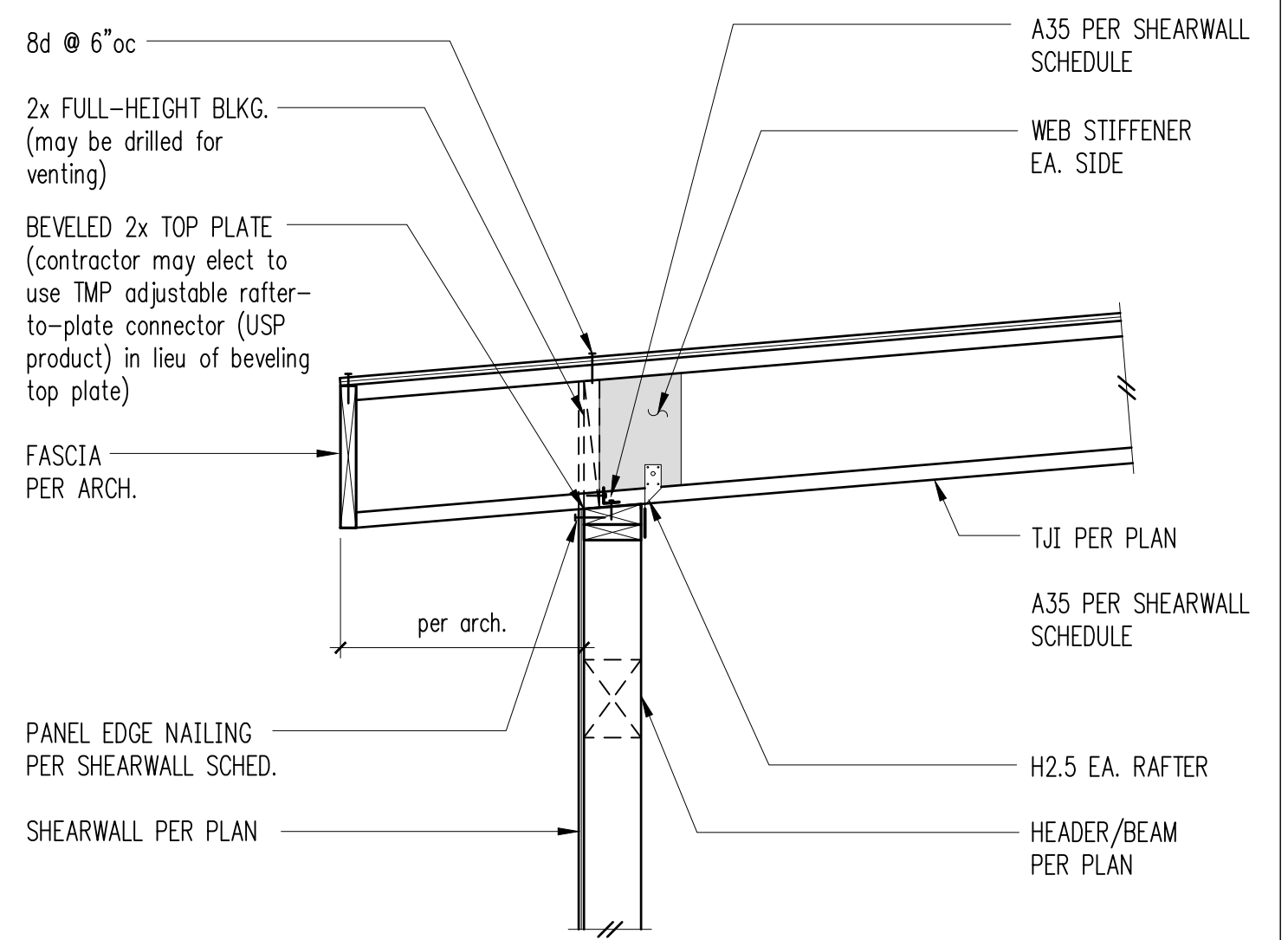


9

Uprturned Beam 10



Exterior Wall at Opening 11



Exterior Bearing Wall 12

REVISIONS:

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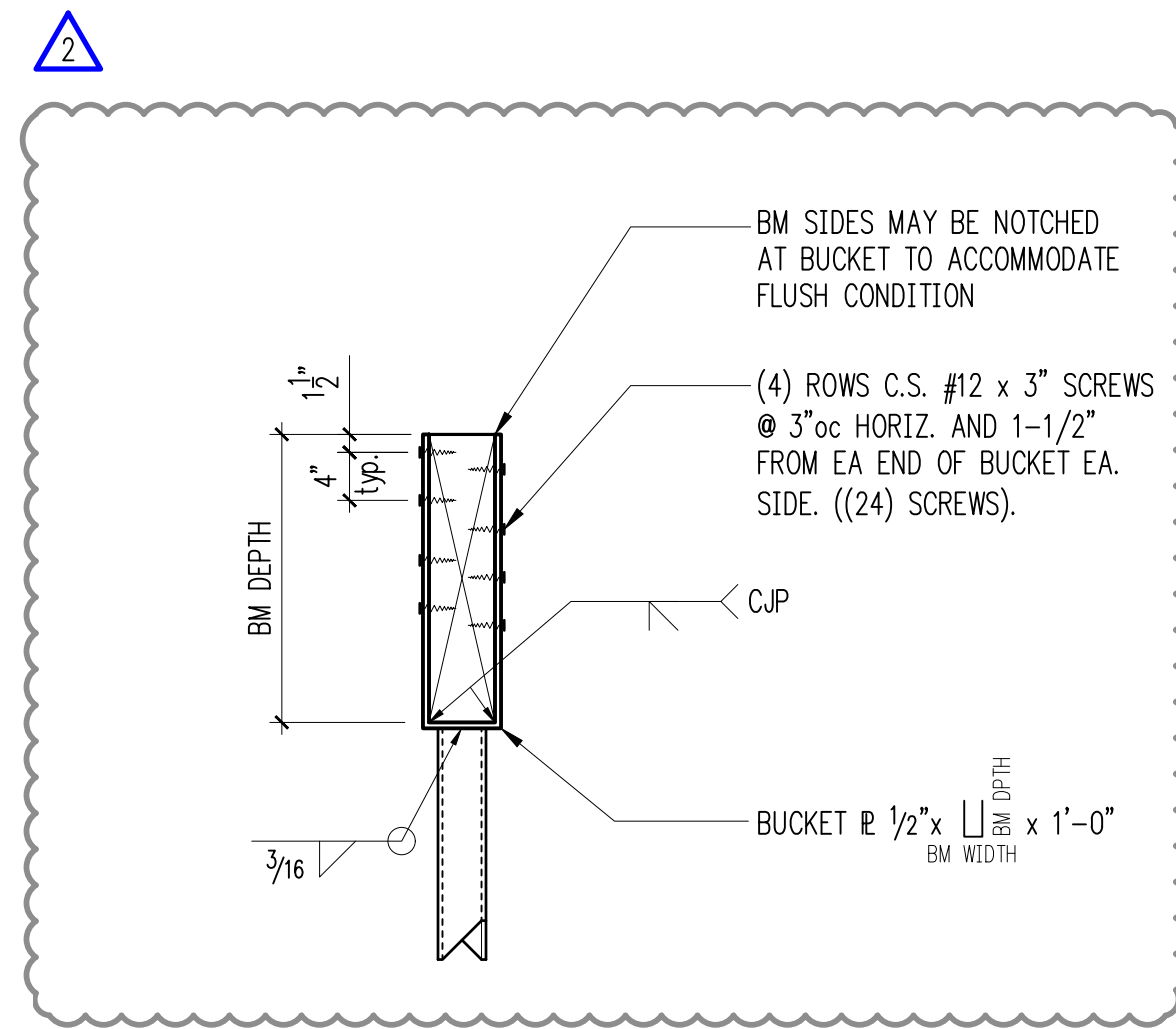
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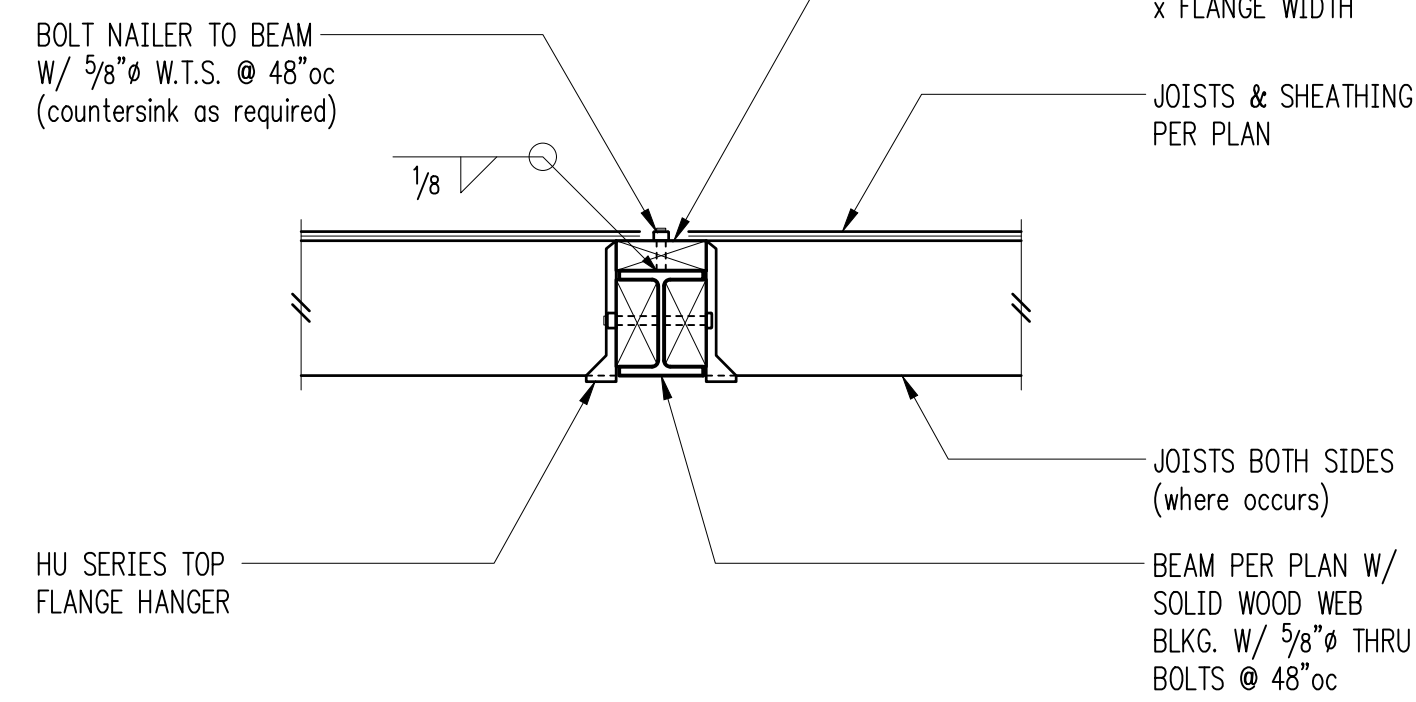
ISSUE:
 Permit

SHEET TITLE:
 Wood Framing
 Sections & Details

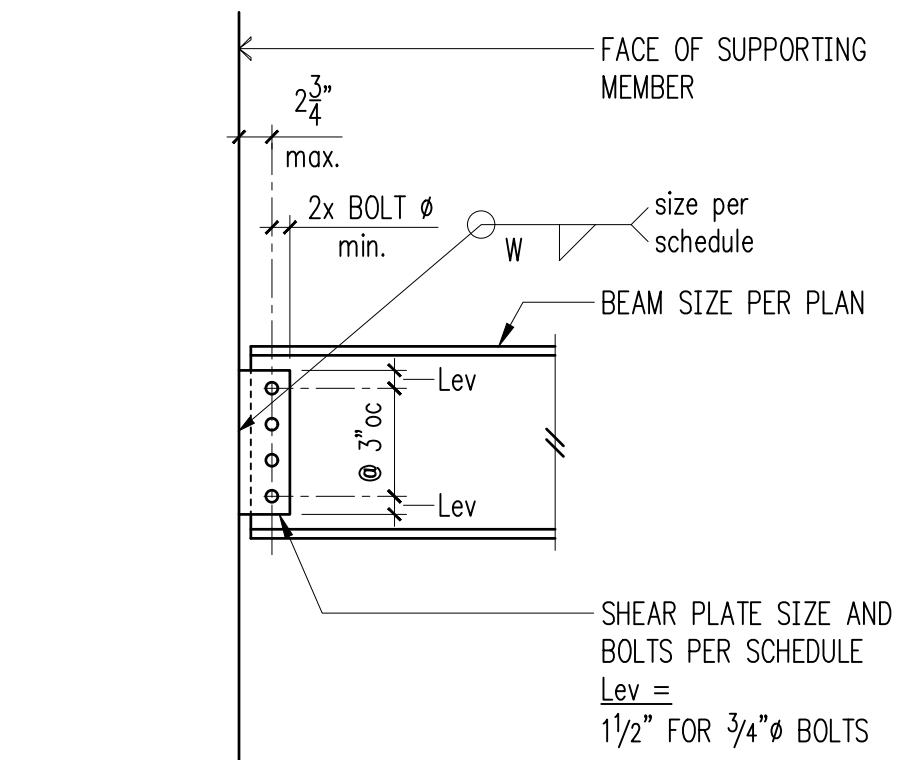
SCALE:
 3/4 = 1'-0" U.N.O.
 DATE:
 Sept. 4, 2018
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 10604-2018-01-00
 SHEET NO:



Custom Bucket Connection 1



Joists Hung from Steel Beam 2

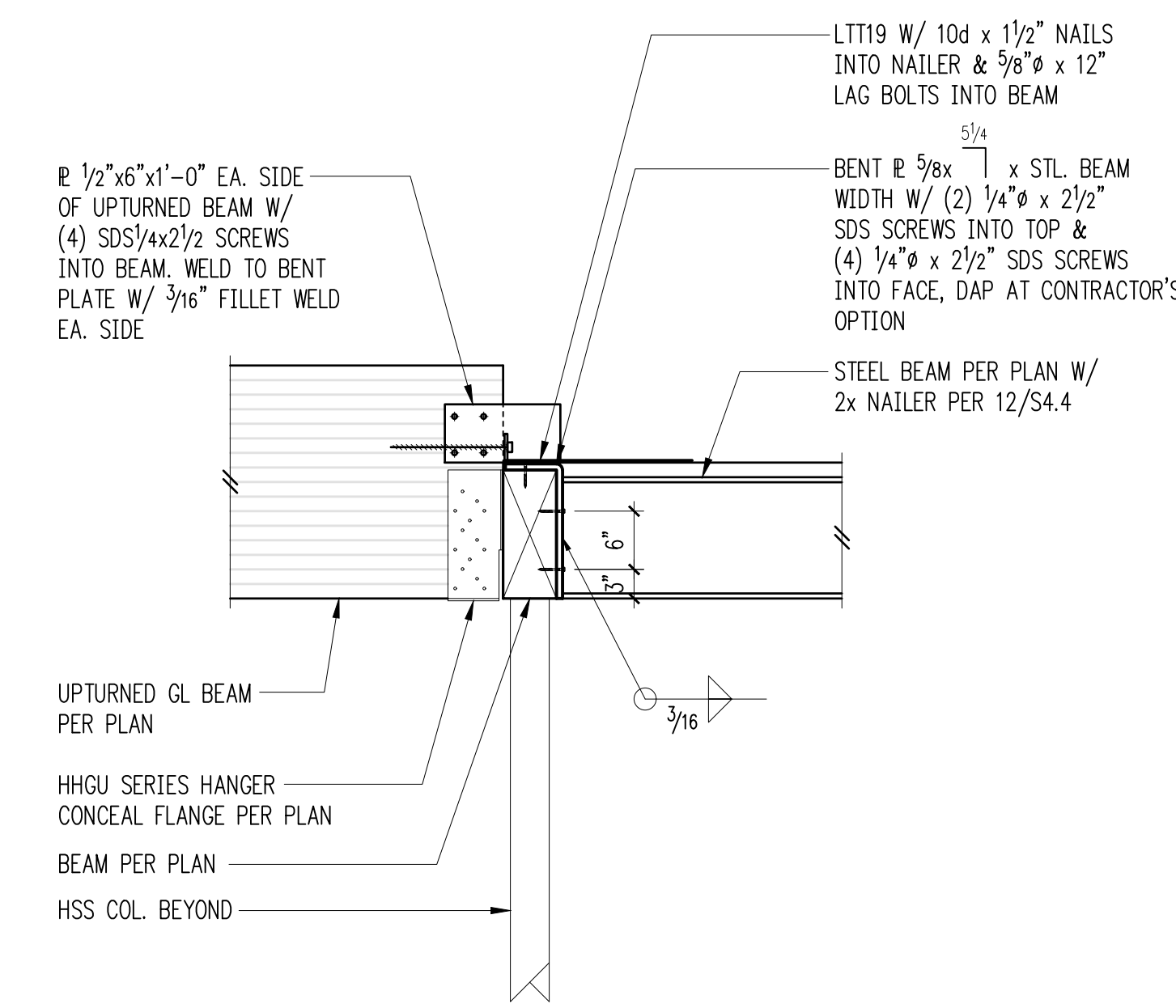


Shear Plate Schedule

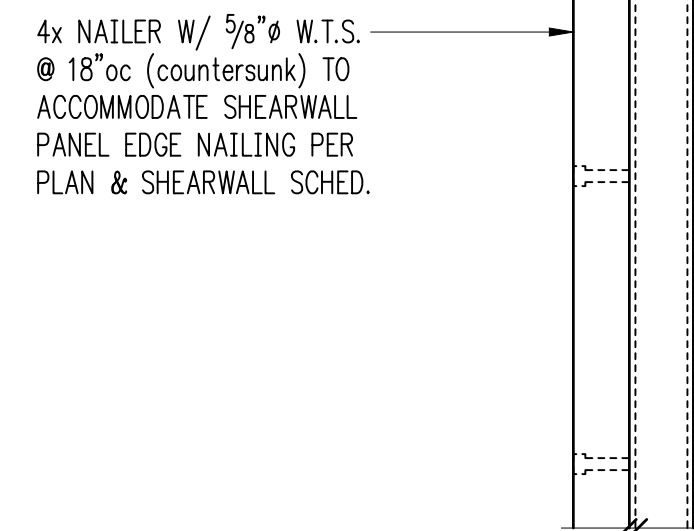
Beam Size	No. of Bolts	Bolt Size	Plate Thickness	Weld Size
W12	3	3/4"φ	1/4"	3/16"

- NOTES:
- STANDARD OR SLOTTED HOLES MAY BE USED.
 - BOLT TYPE A325N.
 - PLATE MATERIAL - A36
 - SEE EXTENDED DETAIL FOR COLUMN WEB CONNECTIONS.

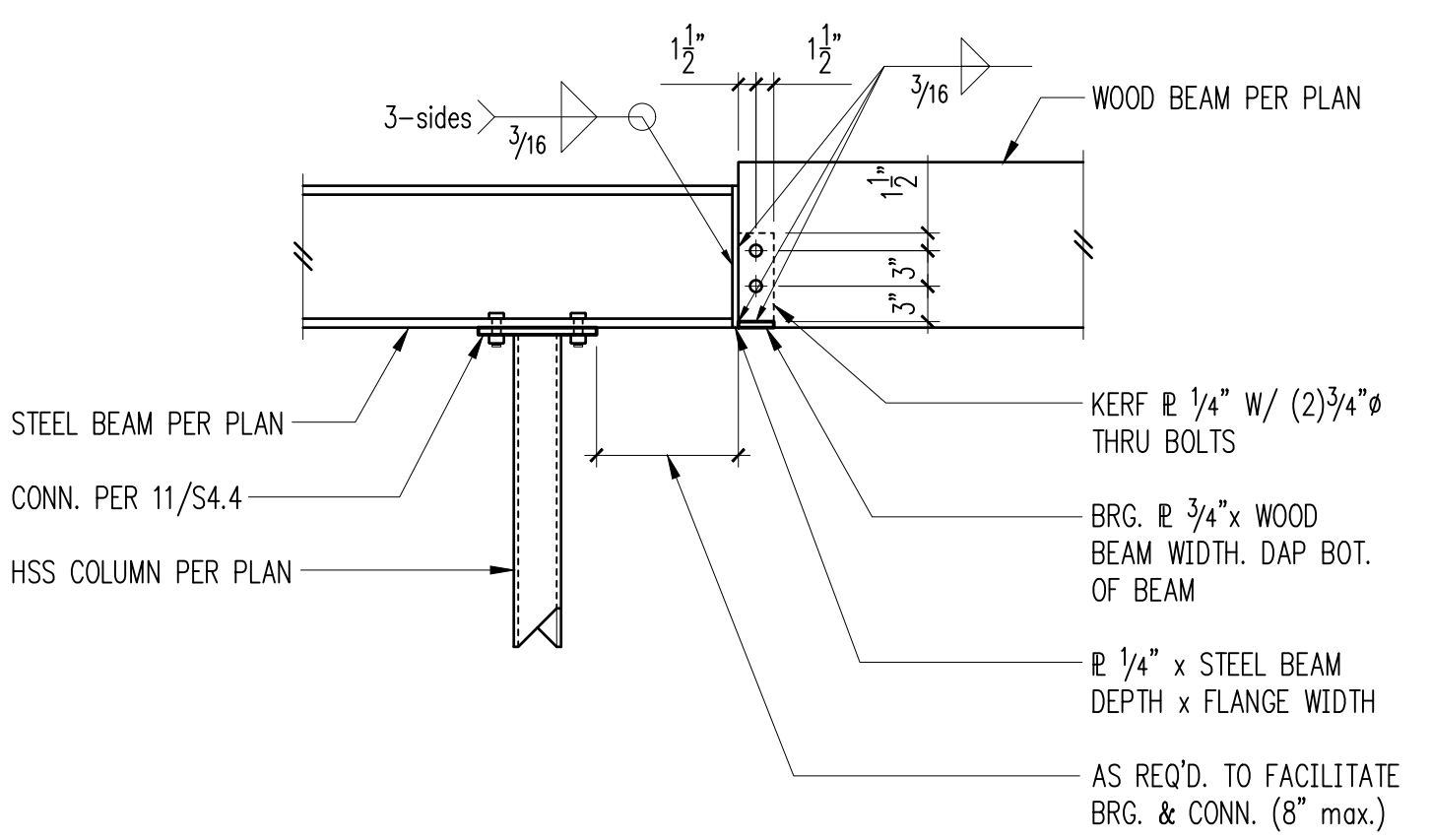
Typical Single Shear Plate Connection and Schedule 3



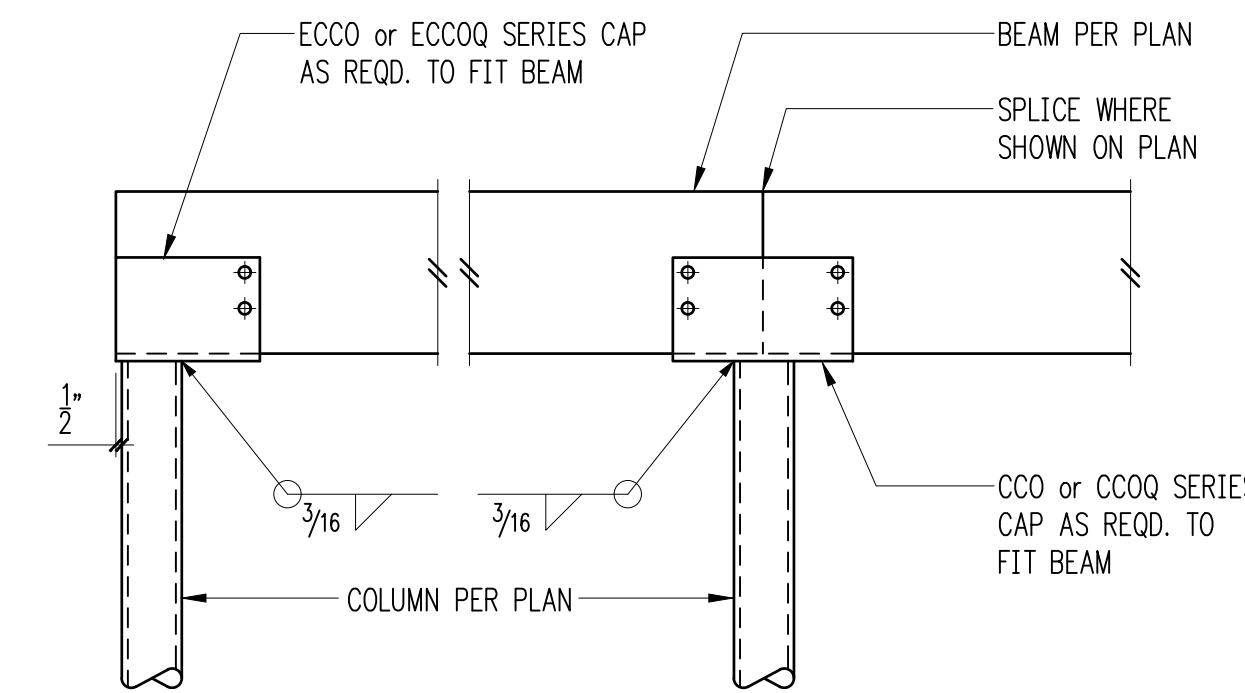
Custom Beam Connection 4



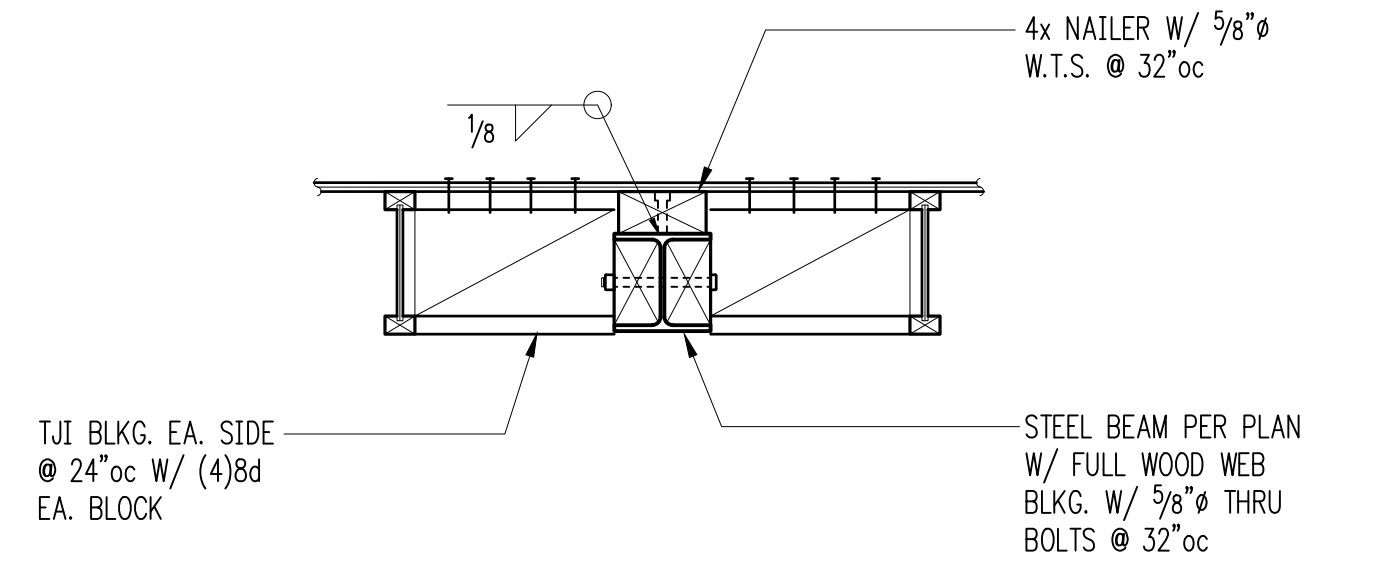
HSS at Edge of Shearwall 5



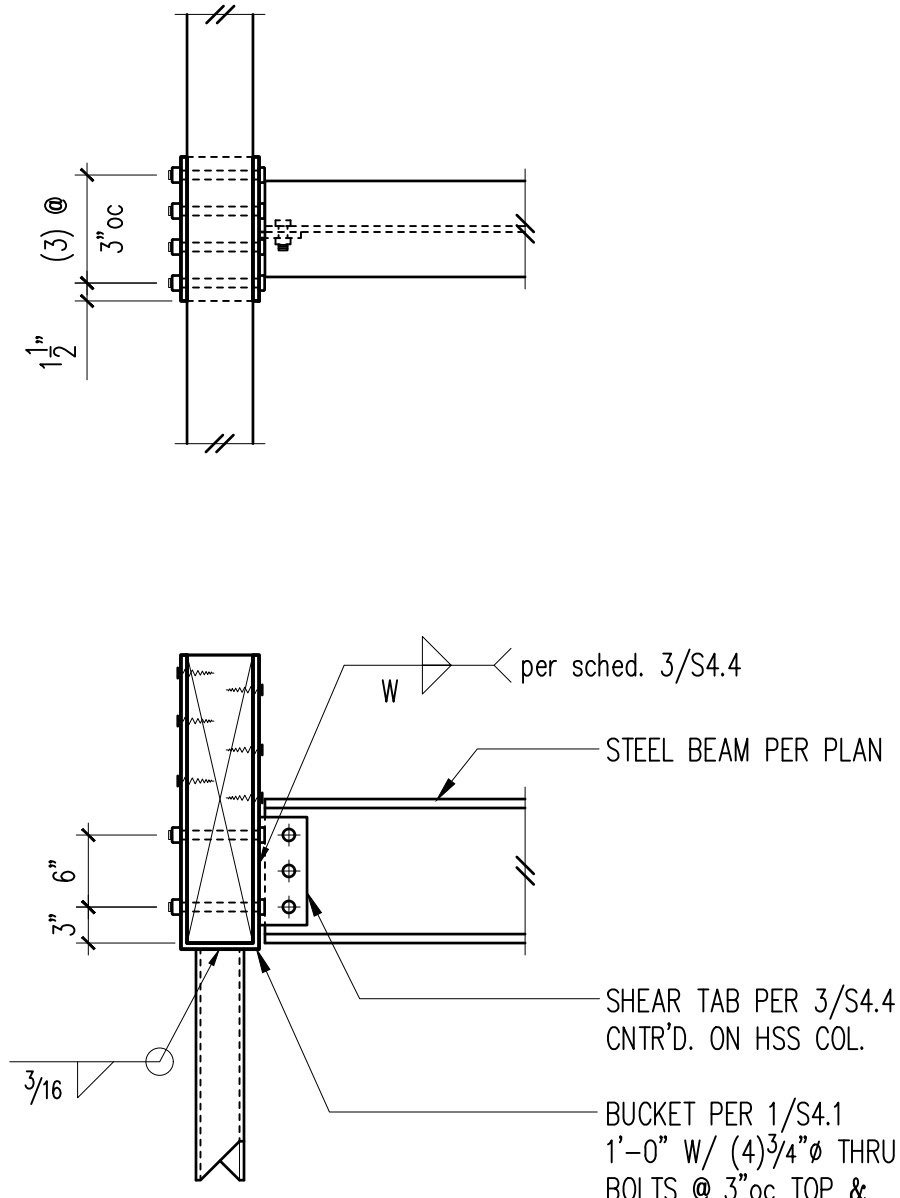
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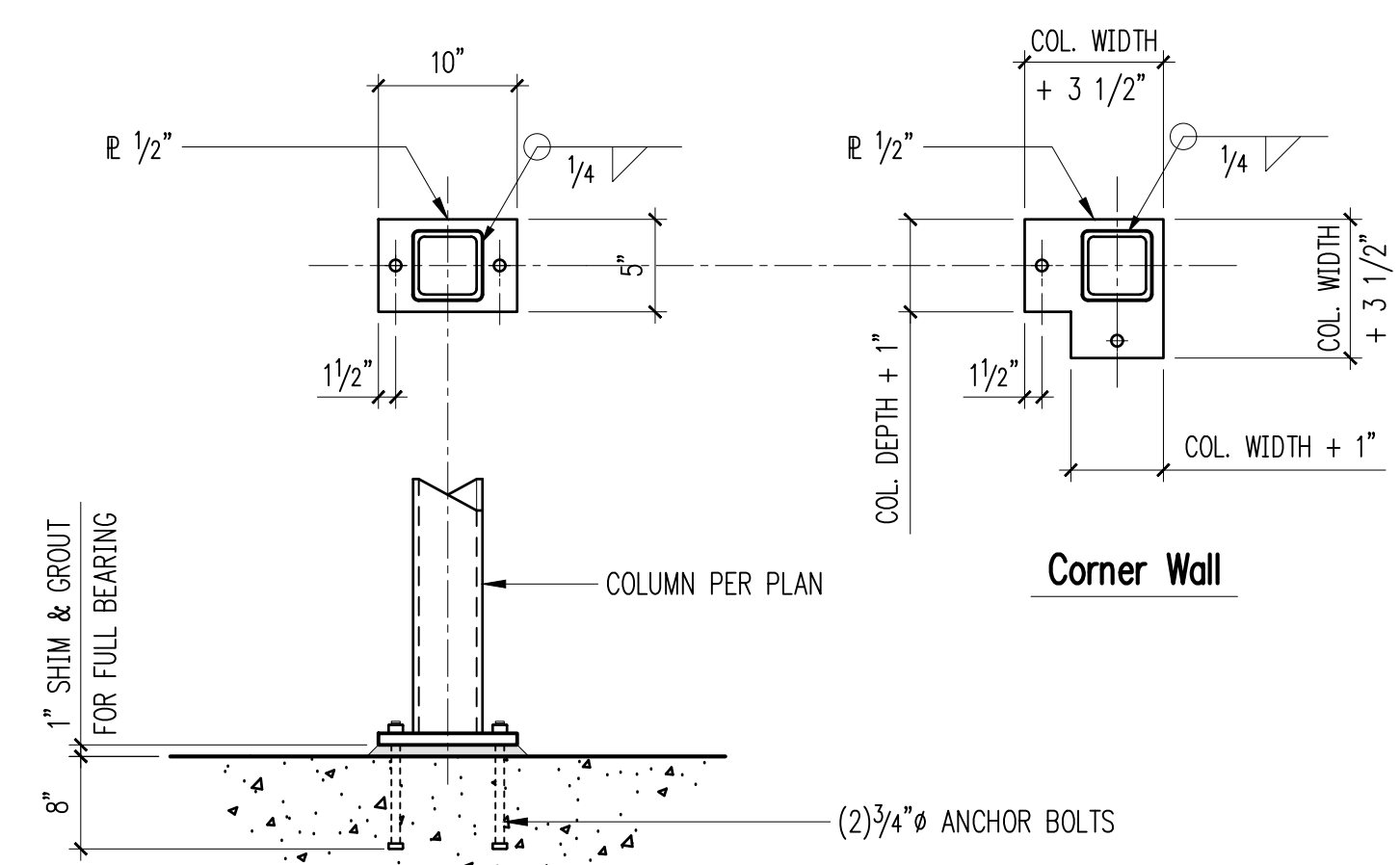
CC/CCQ Series Connection at Steel Column 7



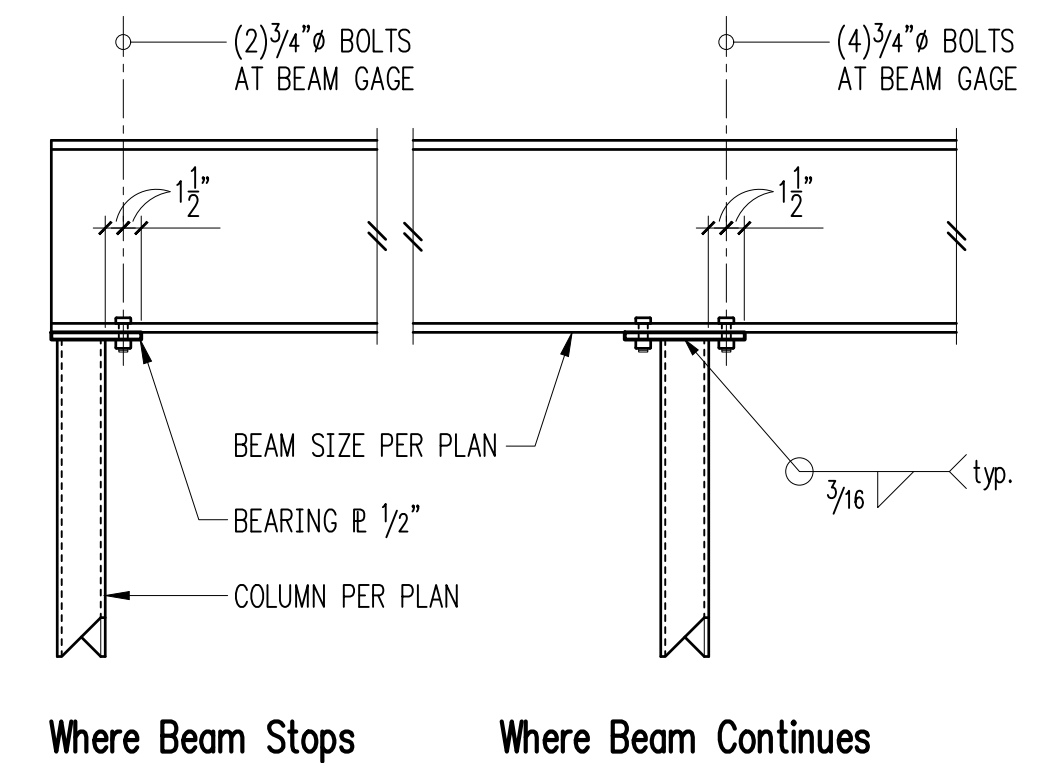
Steel Beam (w/TJI) Parallel to Framing 8



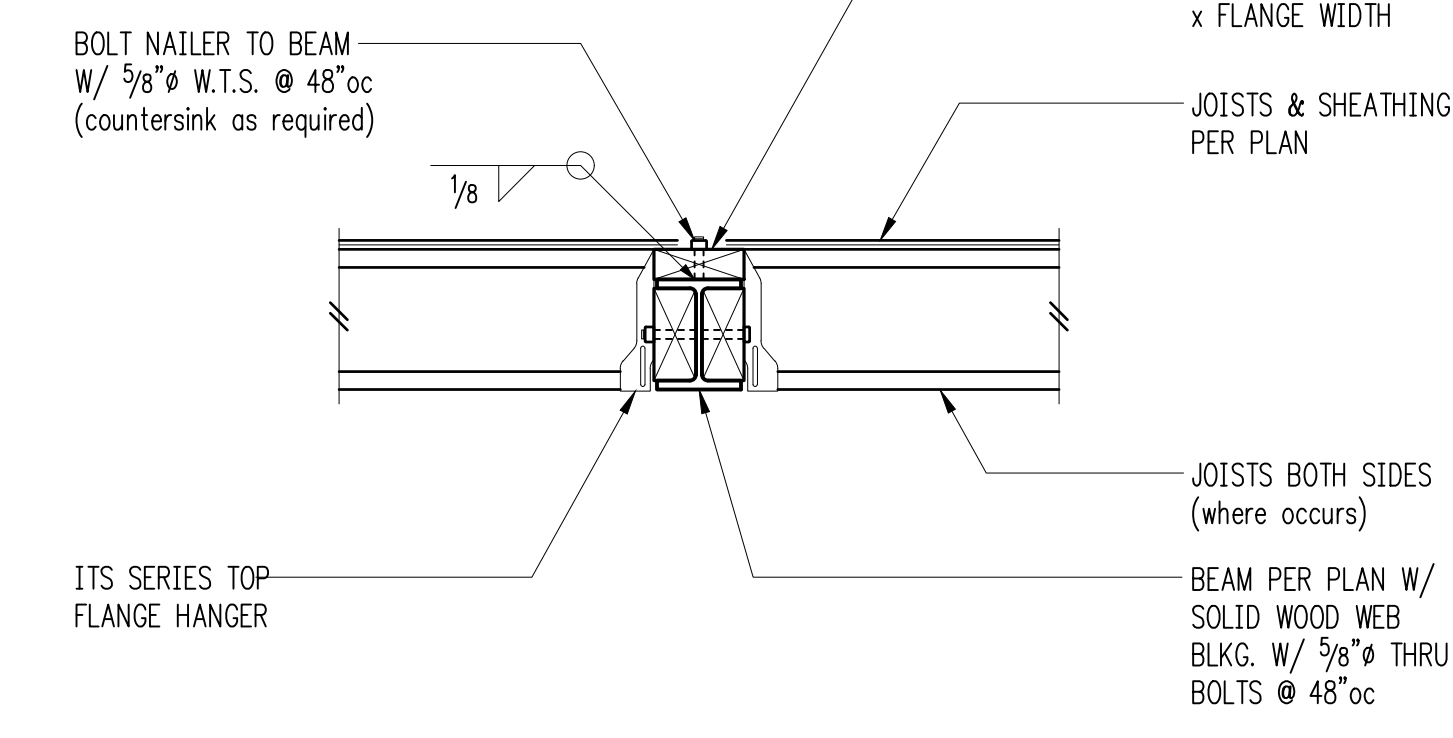
Custom Bucket w/ Steel Beam Connection 9



Baseplate - HSS Column 10



Typical Beam Bearing on HSS or Pipe Column 11



Joists Hung from Steel Beam 12